

# NOTICE OF A REGULAR PLANNING COMMISSION MEETING November 6, 2024, at 6:00 PM

PUBLIC NOTICE is hereby given that the Vineyard Planning Commission will hold a regularly scheduled Planning Commission meeting on Wednesday, November 6, 2024, at 6:00 PM, in the City Council Chambers at City Hall, 125 South Main Street, Vineyard, UT. This meeting can also be viewed on our <u>live stream page</u>.

# 1. CALL TO ORDER/INVOCATION/INSPIRATIONAL THOUGHT/PLEDGE OF ALLEGIANCE

# 2. PUBLIC COMMENTS PC

Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

## 3. CONSENT ITEMS

- 3.1. Approval of the October 2nd, 2024 Planning Commission Draft Minutes
- 3.2. Approval of the October 16th, 2024 Planning Commission Draft Minutes

# 4. BUSINESS ITEMS

4.3. Minor Site Plan Amendment and Conditional Use Permit - Burger King - 614 N
Mill Road

HB Boys, LLC,has requested approval of a minor site plan amendment and conditional use permit at 614 N Mill Road in The Yard subdivision. The applicant is proposing a Burger King with a double aisle drive through.

4.4. Minor Site Plan Amendment - Wendy's 145 S Geneva Road

Steve Pruitt has requested approval of a minor site plan amendment for the Wendy's located at 145 S Geneva Road. The minor amendment will allow the installation of the landscaping strip between the Wendy's site and Geneva Road.

# 5. WORK SESSION

5.5. Zoning Code Overhaul - Building Design and Site Standards

The purpose of the proposed changes is to create standards that are quantitative and

remove subjective language. This section is intended to promote high-level project site planning and shall apply to zones that are not in a special purpose district.

# 6. STAFF, COMMISSION, AND COMMITTEE REPORTS

# 7. ADJOURNMENT

The next regularly scheduled meeting is November 20th, 2024

The public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Madison Reed, Planning Technician, at least 24 hours prior to the meeting by calling (801) 226-1929 or email madisonr@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at Vineyard City Hall, and delivered electronically to city staff and each member of the Planning Commission.

AGENDA NOTICING COMPLETED ON:	November 4th, 2024	
CERTIFIED (NOTICED) BY:	/s/. Madison Reed	
	Madison Reed, Planning Technician	



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# MINUTES OF A REGULAR PLANNING COMMISSION MEETING October 2, 2024, at 6:00 PM

# ATTENDANCE:

**COMMISSIONERS PRESENT:** Vice-Chair Bryce Brady (standing in for the Chair), Caden Rhotton, Chris Bramwell, Graden Ostler, Nathan Steele, and Brad Fagg.

**STAFF PRESENT:** Morgan Brim, Community Development Director; Cache Hancey, Senior Planner; Anthony Fletcher, Planner; Patrick James, Staff Engineer; Naseem Ghandour, City Engineer and Public Works Director; Madison Reed, Planning Technician.

**OTHERS PRESENT:** Resident Kim Cornelius, Resident Karen Cornelius, Katie Schwarz, Bronson Tatton, Resident Daria Evans, and Chad Spencer.

# 1. CALL TO ORDER/INVOCATION/INSPIRATIONAL THOUGHT/PLEDGE OF ALLEGIANCE

Vice-Chair Bryce Brady called the meeting to order at 5:59pm. Commissioner Chris Bramwell led the pledge of allegiance and in prayer.

# 2. PUBLIC COMMENTS PC

Resident Daria Evans asked about the grant for the improvement of Vineyard beach and wanted an update. She also asked about designs for wayfinding of Mill Road and status of the grant. She asked for the definition of stacking distance as well as a mansion town house. Ms. Evans asked about the number of units in specific blocks: 5, 6, 8, 14, and 13. She made a comment about the density and a concern for health of citizens.

Vice-Chair Brady asked if we could touch on the grant and wayfinding signage during the staff report.

Community Development Director Morgan Brim noted that the comments for an agenda item will be addressed in that item.

# 3. CONSENT ITEMS

# 3.1. Approval of the August 7th, 2024 Planning Commission Meeting Draft Minutes

#### 3.2. Approval of the August 21st, 2024 Planning Commission Draft Minutes. Motion: COMMISSIONER NATHAN STEELE MOVED TO APPROVE THE MINUTES AT 6:08PM. COMMISSIONER BRAMWELL SECONDED. ALL IN FAVOR VOTED YES: VICE-CHAIR BRADY AND COMMISSIONERS RHOTTON, BRAMWELL, OSTLER, STEELE, AND FAGG. 4. BUSINESS ITEMS Director Brim asked a question about when to address the public comments. Vice-Chair Brady requested to touch on it during the staff report. 4.1. 2024 Planning Commission Chair & Vice-Chair Re-Election Vice-Chair Brady asked who had the time to be the chair and who has the time to back them up. He discussed the meetings with expected attendance. He noted that his term ends in 3 months and that there will be a new election in 3 months. Vice-Chair Brady asked if anyone had conflict with attending those meetings. Commissioner Bramwell clarified Thursday mornings. Senior Planner Cache Hancey noted the time and date of the meetings. Commissioner Steele asked if the schedule is municipally coded to be held on that date. Senior Planner Hancey explained why that schedule was selected. Vice-Chair Brady asked if Commissioner Caden Rhotton was an alternate. He asked who were the alternates. Senior Planner Hancey listed the alternates. Vice-Chair Brady asked if anyone had a conflict. Commissioner Steele said that the schedule is hard. Commissioner Bramwell noted that he works on Thursdays and asked about online options. Senior Planner Hancey explained the attendance preferences. Director Brim said that it was not an absolute criteria.

93 Commissioner Bramwell asked about the schedule of city council. 94 Director Brim listed the schedule. 95 96 97 Senior Planner Hancey noted that Natalie Harbin was voted in to Planning Commission 98 and said that they could postpone the vote to the following meeting. 99 100 Vice-Chair Brady asked if she would be a sitting member. 101 102 Senior Planner Hancey noted that she is replacing Tay Gudmundson. 103 104 Director Brim recommended not postponing the vote. 105 Commissioner Bramwell asked about the timing of the Thursday meetings. 106 107 Senior Planner Hancey noted the time and availability of the Development Review 108 Committee meetings. 109 110 111 Commissioner Bramwell said he could work his schedule around. 112 Motion: VICE-CHAIR BRADY MOVED TO HAVE COMMISSIONER 113 BRAMWELL BE THE CHAIR AT 6:15PM. COMMISSIONER BRAD FAGG 114 115 SECONDED. 116 Discussion about the motions ensued. 117 118 Motion: VICE-CHAIR BRADY VOTED FOR HIMSELF AS THE VICE CHAIR 119 120 AT 6:16PM. COMMISSIONER STEELE SECONDED. ALL IN FAVOR VOTED YES: 121 VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON, BRAMWELL, 122 OSTLER, STEELE, AND FAGG. 123 4.2. Minor Site Plan Amendment & Conditional Use Permit Application -124 125 Enigma 3, 197 E 1600 N 126 127 Senior Planner Hancey presented the Enigma 3 site plan amendment and conditional use 128 permit. He provided background and context. The site plan and parking were provided 129 and discussed. He noted that a traffic coordination plan and map provided as a condition. 130 Senior Planner Hancey briefed the format of his presentation for updates. He presented 131 the event space and described some details. 132 Senior Planner Hancey provided the conditions of approval: applicant pays any 133 134 outstanding fees and makes redline corrections; applicant is subject all federal, state, and 135 local laws; applicant must observe all ADA requirements (ADA access must be provided 136 at all times either through allowing the use of the south entrance doors or by creating new 137 and improved ADA stalls closer to the main entrance on the main entrance on the north. 138 ADA stalls "must be located on the shortest accessible route to the accessible entrance); 139 A traffic coordination plan and map must be submitted and approved by the community

development department prior to updating the business license (This plan must include a

141 142	site plan with indicated parking stalls that meet the VZC standards); the event space must be limited to 300 people or fewer per building code; and parking must be contained on
143 144	site, including the parking wrapping the building and the dirt lot on the north.
145	Senior Planner Hancey included a proposed motion.
146	Vice-Chair Brady noted that there is storage for metals and asked if it was fenced
147 148	Vice-Chair Brady noted that there is storage for metals and asked if it was fenced off.
149	•
150	Katie Schwarz with Enigma 3 noted that there is no fencing and that it is an
151 152	agreement with the owner.
153	Vice-Chair Brady asked what the plan was to mark the parking stalls.
154	NCS.
155 156	Ms. Schwarz explained that they are comfortable with orienting people and that they can spray paint it. They ideally will have somebody there guiding.
157 158	Vice-Chair Brady asked if there was any concern for having that open.
159	vice chair Brady asked it diete was any teneern for having that epoin
160	Ms. Schwarz noted that they have cameras but that they have not had much issues.
161	
162 163	Vice-Chair Brady asked if we would want at least the 17 stalls being permanently marked.
164	marked.
165	Director Brim said they would need to mark for the events based on the type of vehicles.
166	Vice Chair Durdy saled what hind of avoits
167 168	Vice-Chair Brady asked what kind of events.
169	Ms. Schwarz said their common offers are corporate events.
170	ICS .
171 172	Vice-Chair Brady asked if it would make sense to make a requirement to mark off the industrial area.
173	the muustrar area.
174	Director Brim noted that it could be a requirement.
175	
176	Director Brim included that the traffic coordinator could keep traffic away, or they could
177	require cones or something.
178 179	Ms. Schwarz added the lighting would keep people close to the building.
180	would keep people close to the building.
181	Vice-Chair Brady noted events that could inspire people to wander.
182	NCTS
183	Commissioner Steele asked about the owner of the dirt lot and building.
184	
185	Ms. Schwarz said they are the same person.
186 187	Commissioner Steele asked if the traffic coordination plan was approved by the property
188	owners.

189	
190	Ms. Schwarz said yes he has approved everything.
191	NC'S
192	Commissioner Steele noted that it is their land and they should have a say on how
193	they handle their business, if there is a plan to keep cars out of the public right of way.
194	NCTS
195	Senior Planner Hancey addressed land behind the site that is a rail corridor and that
196	there will be construction there.
197	
198	Staff Engineer Patrick James said that normally they do not but that they could talk to
199	them about doing that.
200 201	Comion Dlammon Hamany mated that them is still distant
201 202	Senior Planner Hancey noted that there is still distant.
202	Vice-Chair Brady noted that they would not want to be liable for anything.
204	vice-chair brady noted that they would not want to be hable for anything.
205	Motion: COMMISSIONER RHOTTON MOVED TO APPROVE THE SITE
203 206	PLAN AMENDMENT AND CONDITIONAL USE PERMIT WITH THE
207	CONDITIONS AS PRESENTED AT 6:30PM. COMMISSIONER STEELE
208	SECONDED. ALL IN FAVOR VOTED YES: VICE-CHAIR BRADY AND THE
209	COMMISSIONERS RHOTTON, BRAMWELL, OSTLER, STEELE, AND FAGG. THE
210	VOTE PASSED UNANIMOUSLY.
211	
212	4.3. LDS Church Site Plan and Conditional Use Permit - Holdaway Fields
213	
214	Commissioner Graden Ostler left at 6:31 pm.
215	
216	Planner Anthony Fletcher presented the LDS church and provided a background. He
217	provided locational context and highlights. He included the elevations will consist of
218	Brick Veneer Asphalt and that they are providing more than the required number of
219	parking stalls. They met the bike parking and landscaping standards as well. Planner
220	Fletcher presented the site plan, landscaping plan, and elevations.
221	
222	Planner Fletcher provided the conditions and staff recommendations for the site
223	plan and conditional use permit: The applicant shall provide an updated plan set showing
224	all iterations for all sheets, the applicant shall meet all building design requirements, and
225	the applicant shall observe the city's "Nuisances General" ordinance outlined in the
226	Municipal Code, Section 8.08.101(2)(p).
227	
228	Planner Fletcher provided a sample motion.
229	
230	Commissioner Rhotton asked why there was so much extra parking than the
231	requirements.
232	Diamon Flotshon noted the annillative in annual
233	Planner Fletcher noted the applicant is present.

<ul><li>235</li><li>236</li></ul>	Commissioner Rhotton noted that he would advise more bike parking and less car parking.
237	INCTS
238	The applicant, Chad Spencer, noted that this is in the range for what the church
239	prefers. He added that there will be multiple wards with people coming from different
240	areas.
241	
242	Commissioner Rhotton said it makes sense but that he would prefer less parking.
243	
244	Commissioner Steele asked if this was a stake center.
245	
246	Mr. Spencer said yes.
247	
248	Commissioner Bramwell asked to increase bike parking.
249	Commissioner Brantwen asked to mercase once parking.
250	Mr. Spencer said that they are comfortable with what they proposed.
251	with spencer said that they are confrontable with what they proposed.
252	Director Brim noted what the planning commission can do with their
253	management dations. He called to make given that the hills marking is in a visible and
	recommendations. He asked to make sure that the bike parking is in a visible spot.
254	Mr. Snangar noted that it is marrided on both sides of the brilding by the deems and
255	Mr. Spencer noted that it is provided on both sides of the building by the doors and
256	lighting.
<ul><li>257</li><li>258</li></ul>	Director Prim noted that he would appreciate more hilre parking
259	Director Brim noted that he would appreciate more bike parking.
	Vice-Chair Brady asked how soon they are going to get started.
260	Vice-Chair Brady asked how soon they are going to get started.
261	M. C
262	Mr. Spencer noted that due to the weather they would probably start in March/ April.
263	Vice Chair Drady salved how long of a build
<ul><li>264</li><li>265</li></ul>	Vice-Chair Brady asked how long of a build.
	Mr. Spencer noted it's about a 14 month build.
266	Wif. Spencer noted it's about a 14 month bund.
267	COLOR GOLOR GOLOR DE LA GUELA LA CAMERA DO LA PRESIDE DE L
268	Motion: COMMISSIONER BRAMWELL MOVED TO APPROVE THE SITE
269	PLAN AND CONDITIONAL USE WITH THE CONDITIONS AS PRESENTED AT
270	6:38PM. COMMISSIONER STEELE SECONDED WITH THE REQUEST TO
271	EXPRESS CONCERN FOR BIKE PARKING. ALL IN FAVOR VOTED YES: VICE-
272	CHAIR BRADY AND THE COMMISSIONERS RHOTTON, BRAMWELL, STEELE,
273	AND FAGG. THE VOTE CARRIED UNANIMOUSLY.
274	NCTS
275	4.4. PUBLIC HEARING: Zoning Text Amendment for Drive-Thrus Site Plan:
276	Utah City Block 13c
277	NCT)
278	Planner Fletcher introduced the applicant, Bronson Tatton. He presented an
279	introduction to the Zoning Text Amendment - Pharmacy Drive-thru. He included useful
280	information to provide perspective including stacking distance information and data used
281	to formulate our numbers.

282	
283	Senior Planner Hancey added context to the numbers and the distance for Bella's
284	Market.
285	
286	Commissioner Rhotton clarified that it is 60ft without the sidewalk.
287	
288	Senior Planner Hancey noted that it depends on the location of the service window.
289	·
290	Vice-Chair Brady asked if they had an image of the site for the building.
291	
292	Commissioner Steele clarified that they are just considering the amendment to the
293	zoning code, not to any specific site.
294	
295	Planner Fletcher said yes.
296	
297	Planner Fletcher presented the proposed text amendment and described the
298	standards.
299	Stalled as
300	Vice-Chair Brady noted that all of the examples have drive-thrus contained in their
301	parking lot and feels that the stacking needs to be bigger if it reaches out to a main road.
302	parking for and reers that the stacking needs to be bigger if it reaches but to a main road.
303	Director Brim noted that this recommendation would go to the city council.
304	Director Britin noted that this recommendation would go to the city council.
305	Vice-Chair Brady noted that the lane may need to be wider being next to a main road for
306	safe and accessible access.
307	Sure und decession decession
308	Discussion about this ensued for clarity and understanding.
309	- as a management of the same
310	Commissioner Steele noted that this is creating a precedent for future drive-thrus
311	and asked if we require a traffic engineer's report with every application in this zoning
312	district.
313	GISTITOT.
314	City Engineer and Public Works Director Naseem Ghandour discussed the specific
315	situation and that is the report they are utilizing. In most cases, for commercial they do
316	request a traffic impact analysis.
317	
318	Commissioner Steele noted that the concerns would be addressed in a traffic impact
319	analysis. He is proposing that this should be explicitly listed.
320	analysis. He is proposing that this should be explicitly listed.
321	Director Ghandour clarified that when the applicant submits a drive-thru, they do request
322	to show the stacking and show they are not blocking any public right of way.
323	to show the swelling and one wile, are not oftening any paone right of way.
324	Commissioner Steele noted he was asking for that higher level analysis.
325	
326	Vice-Chair Brady agreed that it should be a requirement. He acknowledged that
327	there are instances that may extend stacking. He also noted that que times may be longer
328	at pharmacy.
520	ar Primirinas).

329	
330	Senior Planner Hancey noted that he had other images to exemplify what could be
331	allowed. He discussed the specifics for a scenario.
332	
333	Vice-Chair Brady noted that he would prefer it to be a conditional use.
334	·
335	Commissioner Steele agreed.
336	
337	Vice-Chair Brady noted that it being a conditional use would give us more say.
338	NCT .
339	Commissioner Rhotton asked if there was something that we could do to prevent
340	stacking going into the street.
341	
342	Senior Planner Hancey said that drive-thru pharmacies are rare. He said he could expand
343	his search to gather more information.
344	
345	Vice-Chair Brady reiterated that he wanted it to be a conditional use.
346	
347	Planner Fletcher adjusted this in the conditions.
348	
349	Director Brim suggested wording for the conditions.
350	
351	Motion: COMMISSIONER STEELE MOTIONED TO OPEN UP TO A PUBLIC
352	HEARING AT 6:59PM. COMMISSIONER BRAMWELL SECONDED. ALL IN
353	FAVOR VOTED YES: VICE-CHAIR BRADY AND THE COMMISSIONERS
354	RHOTTON, BRAMWELL, STEELE, AND FAGG. VOTE CARRIED
355	UNANIMOUSLY.
356	
357	Vice-Chair Brady reminded the public to keep their comments about the text
358	amendment and separate from the Bella's Market.
359	NCS.
360	Ms. Evans agreed with the additional parts of the amendment.
361	
362	Motion: COMMISSIONER STEELE MOVED TO CLOSE THE PUBLIC
363	HEARING AT 7:00PM. COMMISSIONER FAGG SECONDED. ALL IN FAVOR
364	VOTED YES: VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON,
365	BRAMWELL, STEELE, AND FAGG. VOTE CARRIED UNANIMOUSLY.
366	
367	Mr. Tatton noted that they were going to propose 50 ft stacking distance. He
368	discussed utilities placement and parking lot.
369	
370	Vice-Chair Brady noted that the specifics would be discussed later.
371	
372	Mr. Tatton said that he would not have an issue with having a traffic engineer in on it.
373	
374	Vice-Chair Brady asked about adjustments for future projects.

376	Director Brim said you would want to put it in the wording of the conditions.
377	
378	Planner Fletcher added these adjustments.
379	
380	Commissioner Steele provided wording. Planner Fletcher made those adjustments.
381	
382	Motion: COMMISSIONER STEELE MOVED TO RECOMMEND APPROVAL
383	WITH THE ADDITIONAL CONDITIONS INCLUDING THE REQUIREMENT OF A
384	CONDITIONAL USE PERMIT FOR ALL DRIVE-THRU APPLICATIONS AS WELL
385	AS A TRAFFIC IMPACT ANALYSIS TO BE REQUIRED INCLUDING THAT IF
386	THE ANALYSIS SHOWS ANY CONFLICTS OR EXCEPTIONS ARE WARRANTEI
387	THAN THEY CAN BE INCORPORATED AT 7:04PM. COMMISSIONER RHOTTON
388	SECONDED. ROLL CALL WENT AS FOLLOWS. RHOTTON, BRAMWELL,
389	BRADY, STEELE, AND FAGG.
390	
391	4.5. Site Plan: Utah City Block 13c
392	4.3. E Site I ian. Clan City Block 13c
393	
394	Senior Planner Hancey invited Mr. Tatton's participation. He presented locational
395	context and a narrative that included the number of units: 342 units. He showed a plan
396	for perspective. The applicant asked to defer the landscape approval plan. Senior Planner
397	Hancey presented the elevations and noted that they have met all of our standards of the
398	downtown code.
399 400	Commission on Dumayyell calculation the building haidhte ayana
400 401	Commissioner Bramwell asked what the building heights were.
401 402	Vice Chair Dredy cover that it had a maximum haight of 92 feet and 5.5 inches
402 403	Vice-Chair Brady gave that it had a maximum height of 83 feet and 5.5 inches.
403 404	Planner Hancey provided the renderings for context.
404 405	Flaimer Trancey provided the renderings for context.
405 406	Senior Planner Hancey presented and described the parking diagram.
407	Schiol I faillet Trancey presented and deserroed the parking diagram.
408	Mr. Tatton asked if there were any questions or comments.
409	wir. Tatton asked if there were any questions of confinents.
410	Vice-Chair Brady asked about where the reduction numbers came from.
411	vice-chair brady asked about where the reduction numbers came from.
412	Senior Planner Hancey noted that that is in the code for the Downtown Special Purpose
413	Zoning District. He explained some of the agreements.
414	Zonnig District. The explained some of the agreements.
415	Vice-Chair Brady initiated a description on how parking numbers are decided and how
416	the process is regulated.
417	the process is regulated.
418	Vice-Chair Brady announced how Vineyard is accounting for parking standards. He
419	shared that there is a study being done every 500 units.
420	similar mar in a stady some every soo amo.
421	Senior Planner Hancey noted that the study will be seen sometime next year.
422	2 2 1 2 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
423	Mr. Tatton clarified it will happen in 2026.

424	
425 426	Senior Planner Hancey noted that at that point they will address that study.
427	Ms. Evans asked about the temporary parking lot. She expressed concern for the
428	residents.
429	
430	Vice-Chair Brady acknowledged that the parking lot will not be dirt. He added that the
431	temporary 7 years refers to bulk up the landscaping if they do not build structured
432	parking.
433 434	Senior Planner Hancey clarified this.
434 435	Semoi Flanner Hancey Clarified this.
436	Vice-Chair Brady noted that they will advertise the units with or without parking. He
437	highlights the benefits and choice of driving.
438	
439	Senior Planner Hancey discussed the code enforcement and complaints that the city
440	receives.
441	
442	Ms. Evans asked to get her questions about unit numbers answered.
443	Commission on Dl. 44
444 445	Commissioner Rhotton provided 13c had 342 units.
445 446	Vice-Chair Brady said he could show Ms. Evans detailed information that was provided
447	in the agenda packet which includes the blocks, number of beds, and units.
448	in the agenca packet which includes the clocks, named of coas, and amis.
449	Senior Planner Hancey reviewed the recommendations and conditions: pay any
450	outstanding fees; fix any redline corrections; the applicant is subject to any state, federal,
451	and local laws; the landscape plan is reviewed and approved during the technical review;
452	a land disturbance permit is obtained; and a full review of civil drawings is completed
453	during the land disturbance permit process.
454	
455	Motion: COMMISSIONER RHOTTON MOVED TO APPROVE THE SITE
456	PLAN FOR UTAH CITY BLOCK 13C WITH THE CONDITIONS AS OUTLINED BY
457	STAFF AT 7:24PM. COMMISSIONER FAGG SECONDED. ALL IN FAVOR VOTED
458	YES: VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON,
459 460	BRAMWELL, STEELE, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.
	4.6. Sign Standard Waiver - Wendy's
461 462	4.6. Sign Standard Waiver - Wendy's
463 464	Senior Planner Hancey provided a background for the sign standard waiver. He
465	reviewed the sign standard waiver process and showed the evaluation criteria. Senior Planner Hancey noted they want 6 signs instead of 4. He presented the elevations and
466	highlighted the signs. He provided details for size of the signs.
467	manifered are signed the provided details for size of the signed.
468	Commissioner Steele asked if the signs are internally illuminated.
469	commissioner sector asked it the signs are internally intuininated.

Senior Planner Hancey said yes.

470

472	Commissioner Steele asked if this was worrisome.
473	
474	Senior Planner Hancey noted requests they have made with turning off the lights
475	and discussed the north elevation lights. He feels that it is far enough away to create
476	concern. He showed a map for perspective.
477	
478	Commissioner Steele agreed that there is no concern.
479	NCTS
480	Senior Planner Hancey noted that they do have a monument sign on Geneva Road.
481	He feels that it is a respectable sign. He presented a sample motion.
482	
483	Planner Fletcher left the meeting at 7:30pm.
484	
485	Vice-Chair Brady asked about a callout for pipe columns.
486	
487	Engineer James noted that they are decorative columns on the building.
488	KTS
489	Motion: COMMISSIONER STEELE MOVED TO APPROVE THE SIGN
490	STANDARD WAIVER APPLICATION FOR THE WENDY'S DEVELOPMENT AS
491	PRESENTED. COMMISSIONER RHOTTON SECONDED. ALL IN FAVOR VOTED
492	YES: VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON,
493	BRAMWELL, STEELE, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.
494	
495	4.7. Public Hearing: Rezone of Lot 6545 (New Fire Station Lot) in the
496	Cottonwoods Neighborhood from R-1-8 to Public Facilities
497	
498	Senior Planner Hancey presented the city initiated application for a rezone. He
499	provided background of the request and announced that it is a recommendation to city
500	council. He noted that if it is sold back to residential, it will have to go back through a
501	rezone. Senior Planner Hancey noted this will be done by ordinance that would add a
502	map to the zoning code.
503	
504	Motion: COMMISSIONER BRAMWELL MOTIONED TO OPEN A PUBLIC
505	HEARING AT 7:33PM. COMMISSIONER FAGG SECONDED. ALL IN FAVOR
506	VOTED YES: VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON,
507	BRAMWELL, STEELE, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.
508	
509	There were no comments.
510	
511	Motion: COMMISSIONER BRAMWELL MOTIONED TO CLOSE THE PUBLIC
512	HEARING AT 7:33PM. COMMISSIONER FAGG SECONDED. ALL IN FAVOR
513	VOTED YES: VICE-CHAIR BRADY AND THE COMMISSIONERS RHOTTON,
514	BRAMWELL, STEELE, AND FAGG. THE VOTE CARRIED UNANIMOUSLY.
515	
516	Motion: COMMISSIONER BRAMWELL MOVED TO RECOMMEND THE
517	CITY INITIATED APPLICATION TO REZONE OF LOT 6545 (NEW FIRE STATION
518	LOT) IN THE COTTONWOODS NEIGHBORHOOD FROM R-1-8 TO PUBLIC

519 FACILITIES THROUGH ORDINANCE 2024-14 AT 7:34PM. COMMISSIONER 520 RHOTTON SECONDED. ROLL CALL WENT AS FOLLOWS: RHOTTON, 521 BRAMWELL, BRADY, STEELE, AND FAGG. 522 4.8. Public Hearing: Rezone of 145 N Geneva Road from Regional Mixed Use 523 524 (RMU) to Geneva Road Mixed Use (GRMU) District. (POSTPONED) 525 Senior Planner Hancey provided background on this rezone application. He noted 526 527 that it was postponed because it called for a zoning text amendment as well and needed 528 more time. 529 530 5. WORK SESSION 531 532 No work items were submitted. 533 6. STAFF, COMMISSION, AND COMMITTEE REPORTS 534 535 Director Brim introduced the Utah APA conference and noted budget for planning 536 537 conferences. He announced that Planner Fletcher will be leading 3 sessions. 538 Director Brim addressed Ms. Evan's comments including the TRCC grant and noted 539 540 inflationary costs rose to 3.6 million dollar grant. He discussed the process and that it will be a 541 several month process. He introduced Planner Fletcher is the one managing that project. The 542 grant was extended for another 24 months. 543 Director Brim discussed the Mill Road project that is a two part project. He briefed some 544 details of this project and provided an update in the process. The city is working on bringing on a 545 546 consultant. Director Brim announced that there will be a town hall on this project specifically. 547 548 Vice-Chair Brady asked Mr. Tatton if there was a definition for a mansion town house. 549 550 Senior Planner Hancey noted that that was language in the code that is centered around the larger 551 units and exempt the small ones. 552 553 Director Brim provided a description. 554 Senior Planner Hancey added an update on the ULI conference and noted that it would meet 555 556 the training requirements. 557 558 Senior Planner Hancey also discussed a training that is coming up soon. 559 560 Senior Planner Hancey included that the community development team did an inventory in the Flex Office Industry manufacturing zone. 561 562 Director Ghandour provided an update on the trail enhancement project that is supported by 563 564 MAG.

# 566 567 **7. ADJOURNMENT**568 569 The meeting was adjourned at 7:49 pm. 570 571 572 573 574

MINUTES CERTIFIED COMPLETE ON:

578 **(** 579 580

575576577

**CERTIFIED (NOTICED) BY:** /s/. Madison Reed Madison Reed, Planning Technician





MINUTES OF A REGULAR PLANNING COMMISSION MEETING October 16, 2024, at 6:00 PM

\_\_\_\_

# ATTENDENCE:

**COMMISSIONERS PRESENT:** Vice-Chair Bryce Brady (acting as chair); Nathan Steele; Graden Ostler; Natalie Harbin (arrived late).

**STAFF PRESENT:** Cache Hancey, Senior Planner; Morgan Brim, Community Development Director; Naseem Ghandour (arrived late), Public Works Director and City Engineer; and Madison Reed, Planning Technician.

**OTHERS PRESENT:** Resident Daria Evans.

# 1. CALL TO ORDER/INVOCATION/INSPIRATIONAL THOUGHT/PLEDGE OF ALLEGIANCE

Vice-Chair Bryce Brady called to order at 6:01pm. Planning Commissioner Nathan Steele led an invocation and the pledge of allegiance.

# 2. PUBLIC COMMENTS PC

No public comments were made.

# 3. CONSENT ITEMS

3.1. There are no consent items.

# 4. BUSINESS ITEMS

# 4.2. Rezone and Zoning Text Amendment of the 145 s Geneva Road property (Resolved)

This item has been resolved as the applicant withdrew their application. There was no public hearing.

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#### 5. WORK SESSION 46 47 5.1. 2024 Zoning Text Amendment Overhaul 48 49 Senior Planner Cache Hancey provided a presentation for the Zoning Text 50 Amendment and provided a background of the whole project. 51 52 Senior Planner Hancey discussed the District Use Table with background. He noted 53 the suggested changes: Check casing- Conditional use in the Regional Commercial Zone, 54 55 and Mobile Food Court- Conditional in the Regional Mixed-Use Zone. He explained where and what the Regional Commercial Zone and the Regional Mixed-Use Zone. 56 57 Senior Planner Hancey also included Allowed Temporary Uses and Development 58 Standards. He noted that temporary uses are those established for a maximum of 60 days. 59 The changes Senior Planner Hancey included were: exemption for shaved ice and 60 farmer's markets (allowed from April 1-October 31), requires parking standards, and 61 62 requires restoration of property after 24 hours of permit expiration. 63 Commissioner Steele noted that these are very specific, and he recommends 64 language that can be a bit more vague and seasonal. He recommended something like a 65 mobile food vendor. Vice-chair Brady added seasonal language to that suggestion. 66 67 Senior Planner Hancey provided more information on the changes. 68 69 Planning Commissioner Graden Ostler requested clarification. Commissioner Steele 70 71 noted this is when someone pulls a permit for a special event or a temporary use. Senior 72 Planner Hancey provided an example for understanding. Senior Planner Hancey noted 73 that this is for a temporary use City wide. 74 Commissioner Ostler clarified anywhere. 75 76 Senior Planner Hancey noted the timeline and where the exemptions would come in. 77 78 Commissioner Steele asked why this is being brought up. He discussed that these 79 businesses are running without being regulated. The intent was to create standards. 80 81 82 Commissioner Steele noted that it makes sense to him, but the restoration after 24 hours 83 may not be reasonable especially for improved parking surfaces. 84 85

Planning Commissioner Natalie Harbin entered at 6:10pm.

Vice-Chair Brady discussed the permanent dirt lot by 1600 N. He asked about the meaning of dustless.

Senior Planner Hancey responded in saying the language they have written: "such as gravel or asphalt".

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86 87

88

89

90 91

Commissioner Steele commented that the cleanup timeline is a bit strict. Senior 93 94 Planner Hancey made a recommendation of language. 95 96 Community Development Director Morgan Brim asked if this time period was standard. 97 98 Senior Planner Hancey said yes. 99 100 Scale for a deposit or bond was discussed. 101 Senior Planner Hancey noted that if someone trashed it, that Vineyard could follow 102 with the code enforcement measures. 103 104 105 Director Brim initiated conversation on temporary uses and drive-thrus. 106 Discussion about bonds and finances for them ensued. 107 108 Vice-Chair Brady asked if it was 60 days consecutive or 60 days in a year. 109 110 111 Senior Planner Hancey said 60 days in a calendar year. 112 113 Public Works Director Naseem Ghandour entered at 6:16pm. 114 115 Timeline specifics were discussed. Language suggestions were made. 116 Commissioner Steele added language about dust control rather than dust-less. 117 118 119 Vice-Chair Brady conversated with Planning Commissioner Natalie Harbin to catch her 120 up to speed. Senior Planner Hancey provided information. 121 Senior Planner Hancey moved to Temporary Use Supplementary Standards. He 122 added that they are development standards for specific uses. Senior Planner Hancey 123 124 added that they are looking to require a site plan that is administratively approved and be 125 a part of the temporary use permit. The changes included were: site plan required with 126 application for farmers markets and firework stands (administrative approval), and maybe 127 carnivals. He discussed the farmers markets, firework stands, and carnivals. 128 129 Commissioner Steele said that anything at grove park is not included in this definition because it's a public park. 130 131 Senior Planner Hancey responded in saying yes and providing examples 132 133 Commissioner Harbin asked if this could be retroactively amended because of the 134 minimal amount of land. 135 136 137 Senior Planner Hancey noted that this could be why we create standards. He noted that

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138139

we could hone in on a specific type of carnival.

Vice-Chair Brady asked if they would have to get an events permit even if it was on 140 private property. 141 142 143 Senior Planner Hancey affirmed. He added that at that point they would go through the 144 review point. 145 146 Director Brim clarified that some of them do not require them. 147 Vice-Chair Brady asked if it was when it was under a certain number of people. 148 149 Director Brim provided an example. 150 151 152 Senior Planner Hancey suggested a note. 153 Director Brim noted that if it requires traffic control or impeded public right of way then 154 155 it could call for a permit. 156 Vice-Chair Brady added that defining things could get messy. 157 158 Senior Planner Hancey added that it could be divided by events with impact. 159 160 161 Commissioner Steele noted to have a catch all. He asked if we had definitions for all of those words: farmers marker, carnival, and fireworks stands. 162 163 Senior Planner Hancey noticed that he would check on that. 164 165 Senior Planner Hancey introduced Temporary Use Exemptions. He described these 166 167 as uses that may be temporary but do not require a permit. He highlighted changes regarding garage and yard sales. 168 169 170 Commissioner Steele noted his opinion on yard sale signs. Senior Planner Hancey noted 171 that this is in sign code but that he could add something in this section as well. 172 Senior Planner Hancey moved to the home occupations section. He defined it as a 173 174 secondary use of a home and added the changes made. These included definitions, 175 aggregate impact for multiple licenses, group instruction, noncompliance, and 176 multifamily parking requirements. He discussed noncompliance with medical 177 practitioners and animal healthcare; however, telehealth is different because it is non-178 impact. 179 180 There were no comments on this. 181 Drive thru facilities were the next section. Senior Planner Hancey included the 182 changes: queuing lanes can not be located near the primary pedestrian entrance, requires 183 184 a traffic impact study for every new drive-thru, and no longer allows drive-thrus to be 185 permitted in front of a building. 186

Commissioner Steele asked if this would be applicable to every zoning district. Page **4** of **12**; Planning Commission Draft Minutes

188	
189	Senior Planner Hancey said yes, it would be city wide.
190	
191	Commissioner Steele asked about a recent discussion about a drive-thru.
192	
193	Senior Planner Hancey noted that they are requiring a traffic impact study for that project
194	and that he would check and make sure it is not conflicting.
195	
196	Commissioner Steele noted the language on the paper Senior Planner Hancey
197	provided. He commented that it should be clear and consistent throughout the code.
198	
199	Director Brim agreed.
200	
201	Vice-Chair Brady also agrees. He asked what we are defining as the front.
202	
203	Senior Planner Hancey noted the front facade and acknowledged the difficulty. He added
204	that they will look into that more and put together a definition.
205	
206	Director Ghandour commented on the traffic impact study to provide language for
207	clarity and variety.
208	Clarity and variety.
209	Commissioner Steele noted that his concern is he does not want to create any unnecessary
210	burdens and that a new study would be needed for further development.
211	burdens and that a new study would be needed for further development.
212	Director Ghandour gave another example.
213	Director Ghandour gave another example.
214	Commissioner Steele suggested language for certain scenarios.
215	Commissioner Steele suggested language for certain secharios.
216	Director Brim used a current drive-thru for example.
217	Director Brini used a current drive-und for example.
218	Commissioner Steele summarized the discussion that calls for an analysis from a traffic
219	engineer. He recommended to not have overly vague language.
220	engineer. The recommended to not have everry vague language.
221	Senior Planner Hancey provided examples of processes.
222	being Trainer trainery provided examples of processes.
	Source Plane House Adad Charle Carbing and Other Services. The absences
223 224	Senior Planner Hancey added Check Cashing and Other Services. The changes
	included development standards for separation requirements, limit quantity based on
225	population, and included definitions.
226	
227	Senior Planner Hancey moved to the mobile food court. This included changes in
228	development standards for site plans with bathrooms, parking, trash, etc. and no drive-
229	thrus. Other changes included requirements for conditional use permits and included
230	definitions.
231	
232	Vice-Chair Brady noted that if they came with a plan a drive-thru could be fine.
233	
234	Director Brim discussed the requirements for the drive-thrus that vendors might try to
235	bypass.

236	
237	Senior Planner Hancey discussed other requirements that we do not want to be bypassed.
238	
239	Commissioner Steele noted to not say no drive-thrus but to hold them to the
240	standards because they can be very successful.
241	
242	Director Brim noted that it could be added as a temporary use and provided language.
243	
244	Vice-Chair Brady added that it should held to consistent standards.
245	j
246	Senior Planner Hancey asked if there was something they wanted to see in terms of
247	standards?
248	
249	Director Brim added that they had a want to provide a mobile food court by the beach. He
250	suggested a parking analysis and added that it would be hard to have a blanket parking
251	requirement.
252	
253	Commissioner Steele noted that the discussion about this could take a long time. He
254	stressed that he wants to structure it correctly.
255	
256	Senior Planner Hancey noted that we want feedback from successful ones and the
257	perspective of food trucks.
258	perspective of food trucks.
259	Vice-Chair Brady noted a suggestion for spaces provided by the city at parks for food
260	trucks.
261	titicks.
262	Senior Planner Hancey noted that there have been conversations initiated to help this
263	motivation.
264	motivation.
265	Commissioner Steele brought up a successful example.
266	commissioner steere crought up a successful example.
267	Vice-Chair Brady noted that we should look into it being in both public and private
268	spaces.
269	spaces.
270	Senior Planner Hancey added that Vineyard is re-examining the policy to see what
271	Vineyard can do.
272	, meyara can ao.
273	Commissioner Steele noticed that because of its seasonal use the infrastructure
273	needed is good at a public place.
275	needed is good at a public place.
276	Vice Chair Productionated to not limit ourselves with the public space
277	Vice-Chair Brady suggested to not limit ourselves with the public space.
278	Director Chandour commented on infrastructure feesibility
279	Director Ghandour commented on infrastructure feasibility.
280	Senior Planner Hancey moved to short term rentals. He discussed the suggested
281	changes including allows for rentals less than 30 days, requires license held by owner,
282	establishes enforcement language, no duplex rentals allowed, and records management
283	required.

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284 Senior Planner Hancey discussed the license types even further, introduced in 2 different 285 286 types. Type 1 is for single family homes where there would be a parking requirement of 287 5+ parking stalls. They would have a maximum number of guests. In this type, you can 288 not have an Accessory Dwelling Unit and a Short term Rental. Additionally, there would 289 only be 1 license issued per 50 homes in a neighborhood. 290 291 Vice-Chair Brady asked how much it would cost to get a license. 292 293 Senior Planner Hancey answered in saying that they have not determined a price. 294 Vice-Chair Brady asked if you really did not want one in your neighborhood then you 295 296 can just apply. 297 Director Brim added that we would have to analyze the financial state for the cost. 298 299 300 Commissioner Ostler noted his experience with his Accessory Dwelling Unit. 301 302 Vice-chair Brady recalled this conversation from a while back. 303 304 Senior Planner Hancey noted that someone could apply for a license, but it would not be 305 issued until it met the requirements. 306 307 Vice-Chair Brady noted that the question of should they be allowed has been brought up 308 in the past. 309 Director Brim added where the city could see an economic benefit. He also 310 discussed a third type that was not included in this presentation. 311 312 313 Commissioner Harbin asked about the economics behind it especially with the Olympics 314 in the coming years. 315 Senior Planner Hancey added that we can not get that benefit right now. And 316 enforcement is difficult and takes a lot of time. 317 318 319 Director Brim added some economics and lifestyle of the third type. 320 Senior Planner Hancey noted that this could fit in the type 2. He briefed what this 321 322 type addresses: multifamily housing, requires a conditional use permit, requires on-site 323 management, limited to 5% of units within development, and maximum number of 324 guests. 325 326 Commissioner Ostler asked about the owner occupancy. 327 328 Senior Planner Hancey said this would not require that. That would be a type 1. He 329 mentioned that Vineyard prefers to keep it as housing stock. He discussed housing 330 affordability.

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332 333	Director Brim noted that it cuts into rental stock.
334 335	Vice-chair Brady asked about the owner occupancy with one license.
336 337	Senior Planner Hancey asked for clarification.
338 339	Vice-chair Brady added some can rent out a room. He noted his experience.
340 341	Senior Planner Hancey acknowledged the documentation records.
342 343	Commissioner Steele noted it can get messy asking for documentation.
344 345	Vice-chair Brady added the issue with variation.
346 347	Director Brim said it was unenforceable.
348 349	Commissioner Harbin asked who was enforcing it.
350 351	Senior Planner Hancey discussed enforcement options.
352 353 354	Commissioner Harbin noted that it is already a problem and that something needs to be put in place.
355 356	Director Brim discussed the code enforcement process.
357 358	Senior Planner Hancey added the 3-strike situation in code enforcement.
359 360	Senior Planner Hancey noted his email could be a source for feedback for this text amendment as well.
361 362 363	Commissioner Steele discussed enforcement language.
364 365	Director Brim noted that the standard may be time limited. He suggested discussing it with Jaime (the city attorney).
366 367 368	Vice-chair Brady asked what happens if they continue after their 3 strikes.
369 370	Senior Planner Hancey noted code enforcement in action.
371 372 373	Commissioner Harbin clarified that we should respond to concerns by recommending reports.
374 375 376	Senior Planner Hancey said yes and noted how and what could be used as evidence for catching things.
377 378	Commissioner Steele provided his experience with legality.
379	Discussion ensued.

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380	
381	Director Brim emphasized to recommend reports.
382	
383	Discussion ensued about report options and how it is being used currently.
384	NCTS
385	Commissioner Steele commented on recommended changes and suggested to stay
386	out of the messy documentation and limits for numbers.
387	
388	Director Brim added an experience he had.
389	
390	Vice-chair Brady suggested that limiting it may help the honesty of the system as a
391	whole.
392	
393	Senior Planner Hancey noted we could base it off bedrooms.
394	Diagram D. i.e
395	Director Brim commented on how his experience with short term rentals found their
396 397	numbers for requirements. He discussed the reality of code enforcement.
398	Vice-Chair Brady suggested having it as informational.
399	vice-chair Brady suggested having it as informational.
400	Commissioner Steele clarified that the limitation on an Accessory Dwelling Unit or
400 401	a short term rental is to not reduce our housing stock.
402	a short term rental is to not reduce our nousing stock.
403	Senior Planner Hancey said yes.
404	Soliter I tallitely suita year
405	Director Brim noted that Vineyard gets in trouble with the state.
406	
407	Senior Planner Hancey clarified that its an ADU license or a short term rental.
408	
409	Director Brim provided details on why.
410	
411	Commissioner Steele clarified that each community could have 2 short term rentals
412	plus one for every 50 homes. He asked what the definition was for community.
413	
414	Discussion about bundles for number limits ensued.
415	ICS
416	Commissioner Stele discussed type 2 licenses and appreciated resort-based
417	developments.
418	
419	Director Brim noted we could make a third type for something like that.
420 421	C
421 422	Commissioner Steele questioned how to track the number of guests.
423	Director Brim retouched on the room discussion and what they would rent out.
424 425	Discussion angued about the number of quest allegation and intention of about terms
425 426	Discussion ensued about the number of guest allocation and intention of short term

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428 429	Vice-chair Brady asked about onsite management and owner occupancy.
430	Senior Planner Hancey noted what language we could add for flexibility.
431 432	Discussion about housing stock and affordability ensued.
433 434 435	Commissioner Ostler asked about the benefit of requiring an owner living within 25 miles.
436 437	Discussion ensued about management practices.
438 439 440	Senior Planner Hancey added a suggestion for management or onsite property management.
441 442	Vice-chair Brady commented on type 2 to require a parking pass.
443 444	Senior Planner Hancey asked if dedicated parking stalls would be sufficient?
445 446	Discussion ensued about parking for type 1 and type 2.
447 448 449 450	Senior Planner Hancey moved to the next section of parking. The highlighted changes included: screening language added to be consistent with other sections and the remainder of the chapter be reviewed by the consultant.
451 452 453	Landscaping was a section addressed by Senior Planner Hancey. These changes included: removed outdated language and included a definition of "weed".
454 455 456	Definitions were a section addressed. Senior Planner Hancey included check cashing and other credit services, weed, and mobile food court in the changes.
457 458	Commissioner Steele asked if there is a definitions for mobile food vendors.
459 460	Senior Planner Hancey said no.
461 462	Director Brim added that we can do a major definition addition.
463 464	Commissioner Brim asked about the hammer/ gable.
465 466 467	Senior Planner Hancey noted that he is always open to feedback.
468	Resident Daria Evans was prompted for her questions.
469 470	Ms. Evans asked for clarification on the Regional Commercial zone.
471 472	Senior Planner Hancey presented those sections on a map.
473 474	Ms. Evans asked about medical practitioners and if that included massage.

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475	
476	Senior Planner Hancey noted that massage was not included and that we will tighten up
477	the definition.
478	
479	Ms. Evans asked about farmers markets and arts and crafts festivals and if it would
480	be allowed in Utah city.
481	be allowed in Otali city.
482	Director Prim gold was
483	Director Brim said yes.
	Vice sheir Due dere die deltat the die erreien vroe alle ert mirrete annea
484 405	Vice-chair Brady added that the discussion was about private spaces.
485	M. F
486	Ms. Evans asked about mobile food courts and her experience with them.
487	
488	Senior Planner Hancey noted that is what these standards are for.
489	
490	Commissioner Steele noted that the intent was to be more defined.
491	NCTS
492	Ms. Evans asked about type 2 parking for short term rentals.
493	
494	Senior Planner Hancey clarified that a townhome or condo would not work unless they
495	could have onsite management.
496	
497	Ms. Evans voiced a concern about check cashing. She asked if there are businesses
498	wanting to come to Vineyard?
499	watering to come to vineyard.
500	Senior Planner Hancey noted that we are planning for the future to protect ourselves.
501	senior rainer rainery noted that we are planning for the ratare to protect ourselves.
502	Ms. Evans asked about a dry cleaner.
	IVIS. Evalls asked about a dry cleaner.
503	Control Discourse Harmon Control Contr
504	Senior Planner Hancey said he is always open to suggestions.
505	ICB
506	Commissioner Steele asked about state laws on HOA and short term rentals.
507	
508	Senior Planner Hancey made a note to look into that.
509	
510	Discussion ensued.
511	
512	6. STAFF, COMMISSION, AND COMMITTEE REPORTS
513	
514	6.4. Property Rights Training
515	
516	Senior Planner Hancey explained the training that will be coming in January.
517	, 1
518	Planning Technician Madison Reed noted that the date is still being decided but wanted
519	to notice the commissioners.
520	to notice the commissioners.
521	Senior Planner Hancey noted that the calendar will be coming up.
	I miller I miller j mersa vitar and carefican will be continue up.

522	
523	Director Brim noted that it was national planner month. He asked if there was anything
524	positive that could be recommended to notice.
525	
526	Senior Planner Hancey gave updates on APA conference. He highlighted Planner
527	Anthony Fletcher contributions, parking, and planning for kids and teens. He briefed
528	Commissioner Harbin on conferences.
529	
530	Planning Technician Reed discussed getting emails for the planning commissioners.
531	
532	Director Ghandour appreciated Staff Engineer Patrick James. He also provided an
533	update on the transportation master plan. Director Ghandour also provided an update the
534	review process of the standards and specifications for infrastructure. He added that the
535	streets team grinded out the street to make it smoother by the lake.
536	
537	7. ADJOURNMENT
538	
539	The meeting was adjourned at 7:45pm.
540	
541	
542	
543	
544	MINUTES CERTIFIED COMPLETE ON:
545	
546	CEDITIELED (NOTICED) DV / / M 1' D 1
547 540	CERTIFIED (NOTICED) BY: /s/. Madison Reed
548 549	Madison Reed, Planning Technician
J47	



## VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: November 6, 2024

Agenda Item: Minor Site Plan Amendment and Conditional Use Permit - Burger King - 614 N

Mill Road

**Department:** 

**Presenter:** Rachel Stevens

# **Background/Discussion:**

On March 20, 2019, a site plan and conditional use permit was approved for The Yard subdivision. The approved building at 614 N Mill Road was a shell building with a single aisle drive-through. The applicant is proposing a building with different facades and a double aisle drive-through.

The proposed building is 3,254 square foot on a .68 acre lot. It has a maximum height of 20 feet. The building's facade will be constructed with brick, concrete, wood, stucco, and glass with aluminum accents.

The building required 1 parking space per 100 square feet of floor area, for a total of 33 required stalls. The proposed site plan has 25 on-site stalls and 8 shared stalls within the Yard parking lot, for a total of 33 stalls.

The site plan requires at least 5% of the lot be landscaped. The applicant has proposed 20.3% of the lot be landscaped, exceeding the minimum requirement. The proposed site plan meet all other landscaping requirements as outline in Vineyard Zoning Code.

Section 15.38.190.12, Drive Aisles in Front of Buildings (VZC), states "Through the provision of a conditional use permit, a drive aisle may be located between the building's front façade and front property line in compliance with the following standards...." The applicant is proposing a double drive aisle between the front of building and the public street, as opposed to a single drive aisle that was approved in the original conditional use permit. A queuing analysis will need to be completed and approved by the City Engineer prior to issuance of a building permit.

The original site plan and the amended site plan are attached for comparison.

The proposed site plan meets the requirements of the Vineyard Zoning Code. Staff recommends approval of the minor site plan amendment and conditional use permit with the following conditions:

# Conditions of approval:

- The applicant shall install a minimum of 3 bicycle racks to meet the requirements as indicated in Vineyard Zonig Code 15.38.030.2(b)(ii) Bicycle Rack General Requirement.
- All ADA ramps are a maximum of 8.33%.
- The applicant receives a land disturbance permit.
- A drive thru queuing analysis is approved by the City Engineer. .
- The applicant pays any outstanding fees and makes any redline corrections as may come up during the Planning Commission Meeting.
- The applicant is subject to all federal, state, and local laws.

# Fiscal Impact:

# **Recommendation:**

The proposed site plan meets the requirements of the Vineyard Zoning Code. Staff recommends approval of the minor site plan amendment and conditional use permit with the following conditions:

# Conditions of approval:

- The applicant shall install a minimum of 3 bicycle racks to meet the requirements as indicated in Vineyard Zonig Code 15.38.030.2(b)(ii) Bicycle Rack General Requirement.
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- The applicant pays any outstanding fees and makes any redline corrections as may come up during the Planning Commission Meeting.
- The applicant is subject to all federal, state, and local laws.

# **Sample Motion:**

"I move to approve the minor site plan amendment and conditional use permit with the following conditions:

- The applicant shall install a minimum of 3 bicycle racks to meet the requirements as indicated in Vineyard Zonig Code 15.38.030.2(b)(ii) Bicycle Rack General Requirement.
- All ADA ramps are a maximum of 8.33%.
- The applicant receives a land disturbance permit.
- A drive thru queuing analysis is approved by the City Engineer. .
- The applicant pays any outstanding fees and makes any redline corrections as may come up during the Planning Commission Meeting.
- The applicant is subject to all federal, state, and local laws."

## **Attachments:**

- 1. 5466f1a4333bed7 BK VINEYRAD Project Narrative
- 2. 366f1a4333970f BK VINEYARD CIVIL
- 3. 166f1a432d808d BK VINEYARD CONSTRUCTION DOCUMENTS
- 4. 3866f1a4333db88 BK VINEYARD LANDSCAPE PLANS
- 5. Building K Site Plan Approved on March 20, 2019



September 5, 2024

City of Vineyard Planning Department 125 S Main Street Vineyard, UT 84059

HB Boys proposes to construct a Burger King restaurant at 614 N Mill Road. The proposed development will consist of a Burger King restaurant on the existing building pad, including a dining area, kitchen, drive-thru, and associated facilities. The development will also consist of existing parking for customers and staff, as well as landscaping according to the approved landscape plans from the original development of "The Yard." The project is located on Lot 5, in the Yard Plat D subdivision, occupying approximately 0.68 acres of the total lot area. Some portions of the lot will remain as is, preserving existing site features where feasible. The project is within a Regional Mixed-Use zone and will meet all city codes and ordinances.

The proposed development of the Burger King at 614 N Mill Road, Vineyard, is guided by several key objectives. The primary goal is to establish a high-quality dining establishment that serves both the local community and visitors, offering a convenient and welcoming environment. This development aims to enhance the commercial vitality of the area by introducing a well-recognized brand, creating job opportunities for residents, and contributing to the local economy through business growth and increased foot traffic.

The project is consistent with the City of Vineyard's General Plan, which emphasizes sustainable growth, economic development, and the enhancement of community amenities. The development aligns with the General Plan's goals by introducing a popular and affordable dining option. Additionally, the project adheres to the intended land use for the area, promoting commercial activities in a designated commercial zone.

The design of the Burger King is planned to be compatible with adjacent properties, all of which are commercial uses. The building pad was part of an approved development with existing drive lanes to connect the site to adjacent properties. These existing drive lanes will remain as is and will accommodate emergency and delivery vehicles. Sidewalks and crosswalks will be installed to ensure proper pedestrian circulation throughout the site including accessible routes and ramps which will adhere to all ADA codes. We are proposing a two-lane drive-thru that will provide more space for drive-thru stacking than the original approved development. Therefore, no additional traffic is anticipated than the approved development by this site development. 25 parking stalls are already provided from the original development. It is anticipated that a shared parking agreement will be necessary to provide the stalls required by Vineyard City Code.

All lighting will be designed to minimize spillover onto adjacent properties, with shielded fixtures and downward-facing lights. A water lateral, sewer lateral, catch basins and



pipes to an underground storm sewer were installed to this building pad and will be used as existing. Because these were designed with this building pad being utilized for a restaurant with a drive-thru, the development will not impact the existing utilities. No impact on schools or recreational activities is anticipated. No outdoor activities or outdoor storage will take place on this development.

The Burger King will operate during hours permitted by local ordinances, from 6 AM to 12 AM. The restaurant is expected to employ approximately 4-8 staff members per shift.

The restaurant will comply with local noise ordinances, particularly in managing drivethru operation. The drive-thru will be screened by landscaping to create a buffer to adjacent properties where feasible (according to the approved landscape plans from the original development). The kitchen ventilation systems will be equipped with filters to minimize smoke and odor, ensuring they do not negatively impact the surrounding area. Dust and vibration will be controlled during construction.

Thank you for the opportunity to submit this application. We look forward to working with the Town of Monument on this development.

Cal Johnson Legend Engineering cal@legendengineering.com (435) 654-4828

# BURGER KING VINEYARD 614 N MILL ROAD VINEYARD, UTAH 84059



DATE: **9/23/2024** 

SITE PLAN REVIEW

# INDEX

C-0 Cover Sheet

C-1 Site Plan

C-2 Grading Plan

C-3 Utility Plan

C-4 Details



VICINITY MAP

<u>owner</u> HB BOYS, LLC GARY MOORE 9100 S 300 W SANDY, UT 84070 (801) 557-0370

CONTRACTOR KWJ CONSTRUCTION BEN JOHNSON 5526 W 13400 S HERRIMAN, UT 84096 (801) 865-2758

SURVEYOR DOMINION ENGINEERING ASSOCIATES, LC BRYAN ECONOMY 5684 SOUTH GREEN STREET MURRAY, UTAH 84123 (801) 713-3000

<u>CIVIL ENGINEER</u>

CAL JOHNSON

LEGEND ENGINEERING

52 WEST 100 NORTH

(435) 654-4828

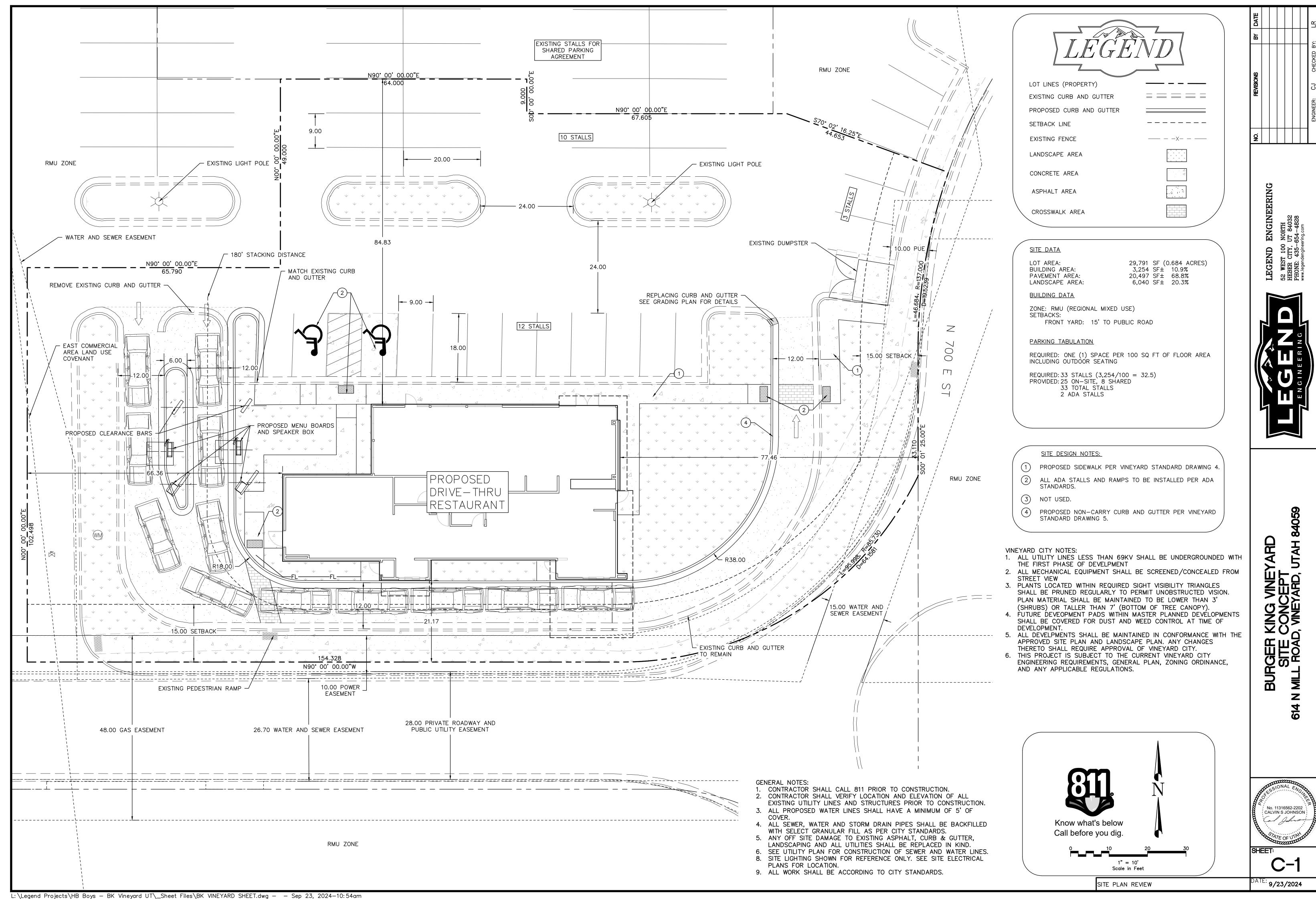
HEBER CITY, UTAH 84032

ARCHITECT

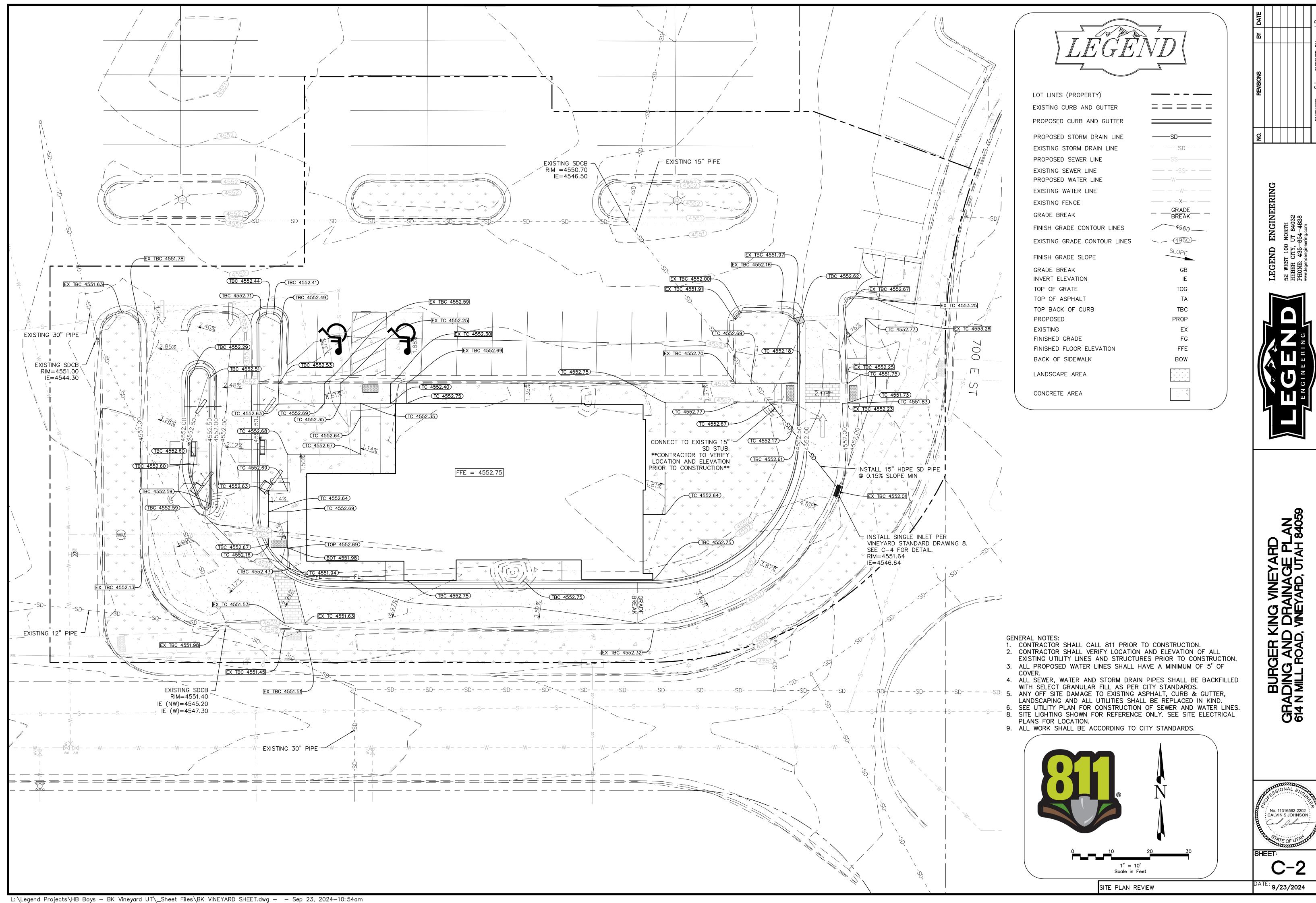
BRIAN D. RUSSELL ARCHITECTS, INC. BRIAN RUSSELL 11772 SOUTH STONE CREST LANE RIVERTON, UTAH 84065 (801) 307-0800

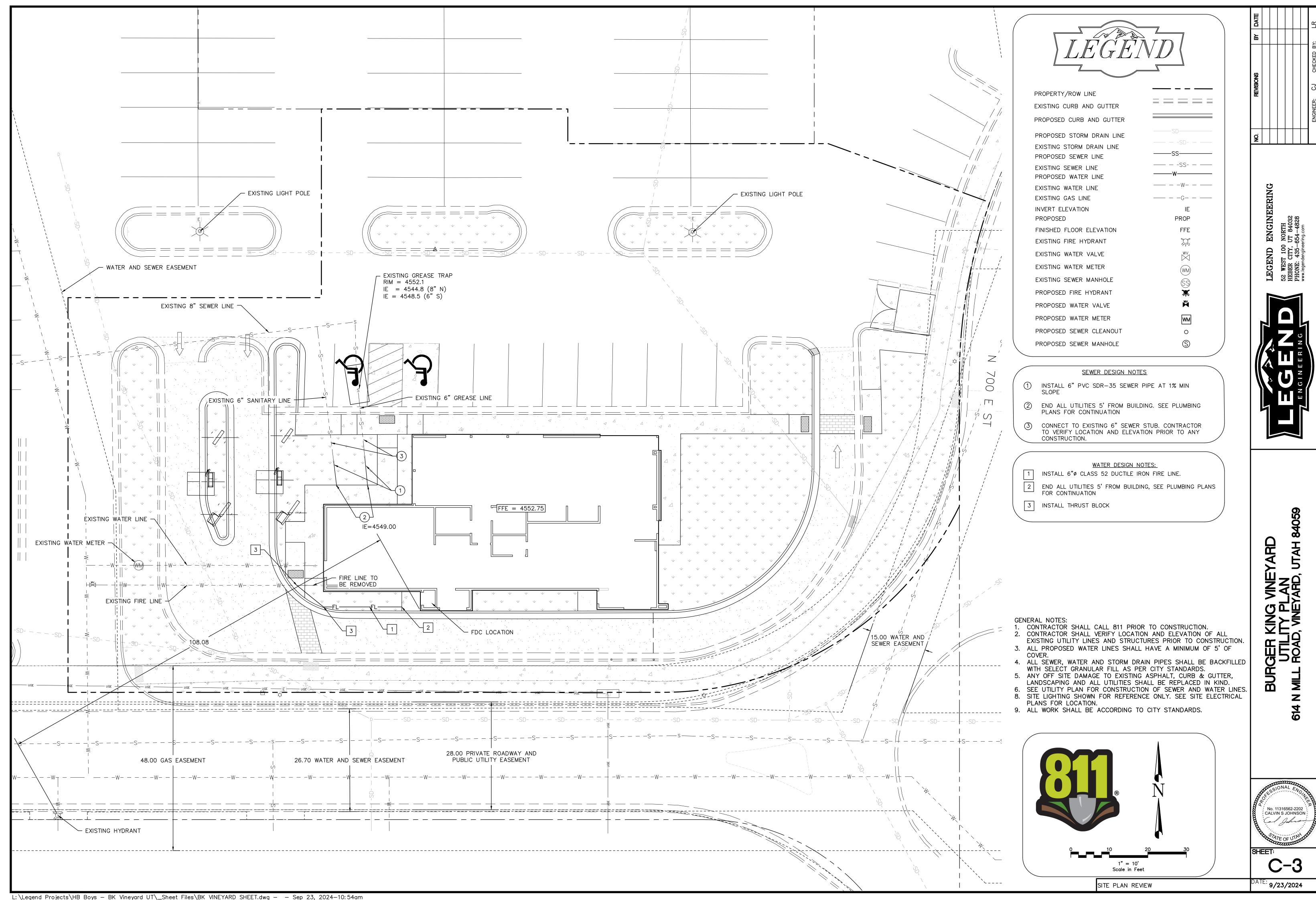
# LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE		INVERT ELEVATION	IE
EASEMENT LINE		TOP BACK CURB	TBC
CENTER LINE		TOP ASPHALT	TA
PROPOSED TRAIL		TOP OF GRATE	TOG
PROPOSED WATER LINE		FINISHED GRADE	FG
PROPOSED PRESSURIZED IRRIGATION	PI	TOP OF CONCRETE	TC
PROPOSED SEWER LINE	SSSS	HIGH WATER ELEVATION	HWE
PROPOSED STORM DRAIN LINE	SD	CATCH BASIN	
EXISTING SEWER LINE	—SSSS	EXISTING STREET LIGHT	$\Diamond$
EXISTING WATER LINE	—ww —	STORM DRAIN MANHOLE	SD
EXISTING STORM DRAIN LINE	—SD	EXISTING FIRE HYDRANT	
EXISTING CONTOUR		EXISTING WATER VALVE	₩V 
		EXISTING WATER METER	WM
FINISHED CONTOUR	4947.00	EXISTING SEWER MANHOLE	SS
		PROPOSED FIRE HYDRANT	×
EXISTING CURB AND GUTTER	======	PROPOSED WATER VALVE	<b>W</b>
PROPOSED CURB AND GUTTER		PROPOSED WATER METER	WM
THO SOLD SOND AND SOTTEN		PROPOSED SEWER CLEANOUT	0
		PROPOSED SEWER MANHOLE	<b>S</b>

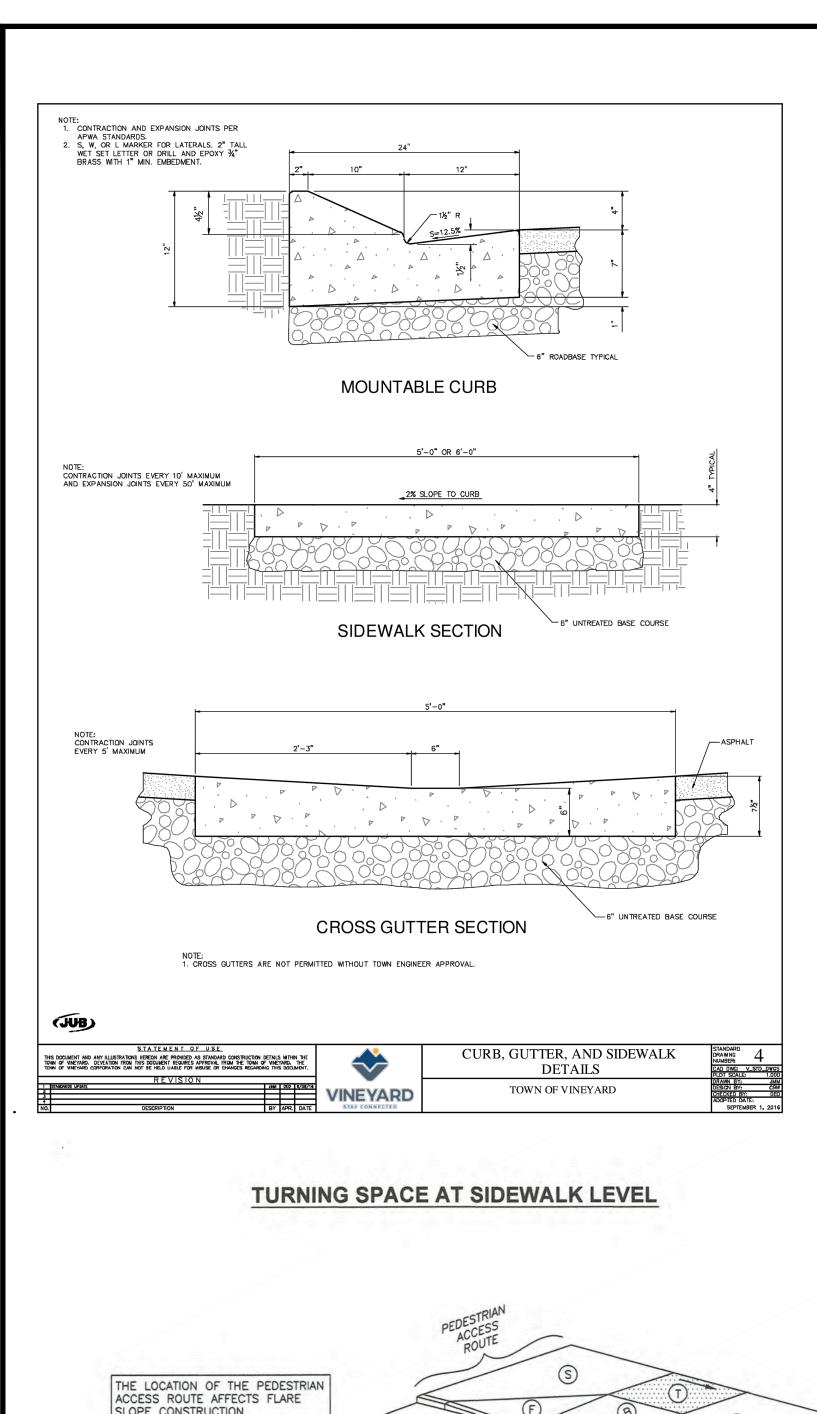


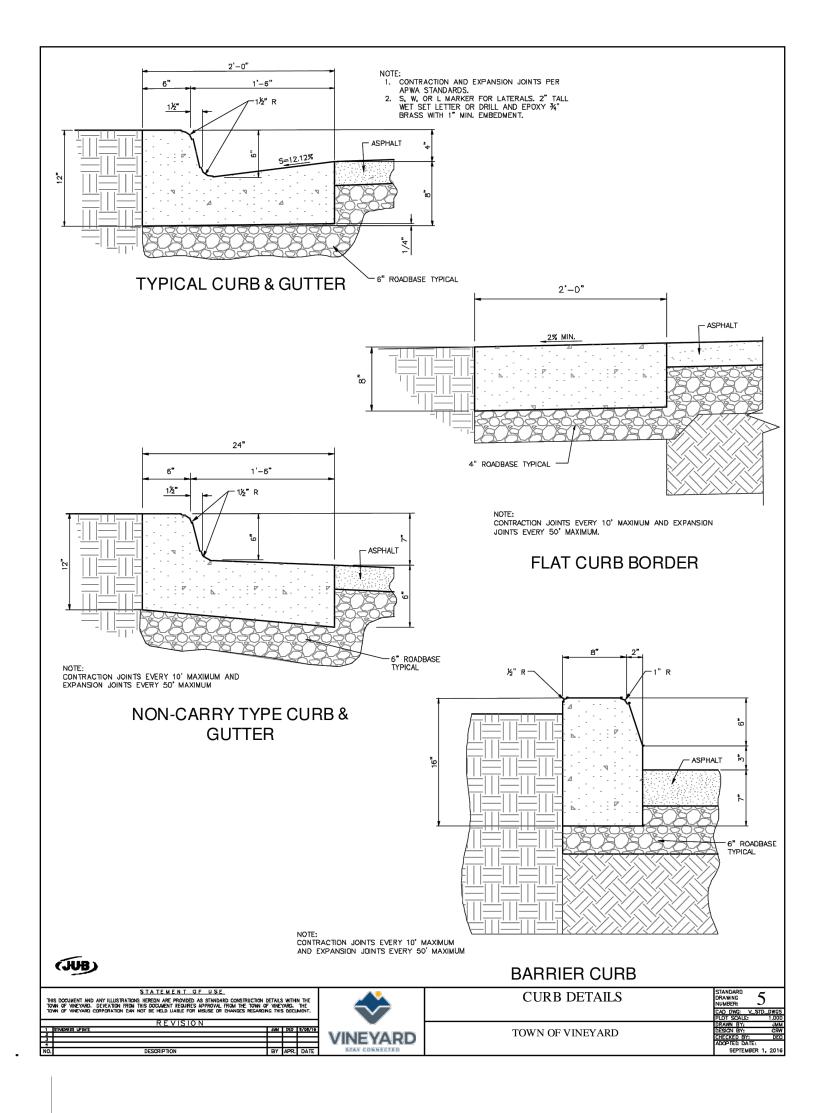
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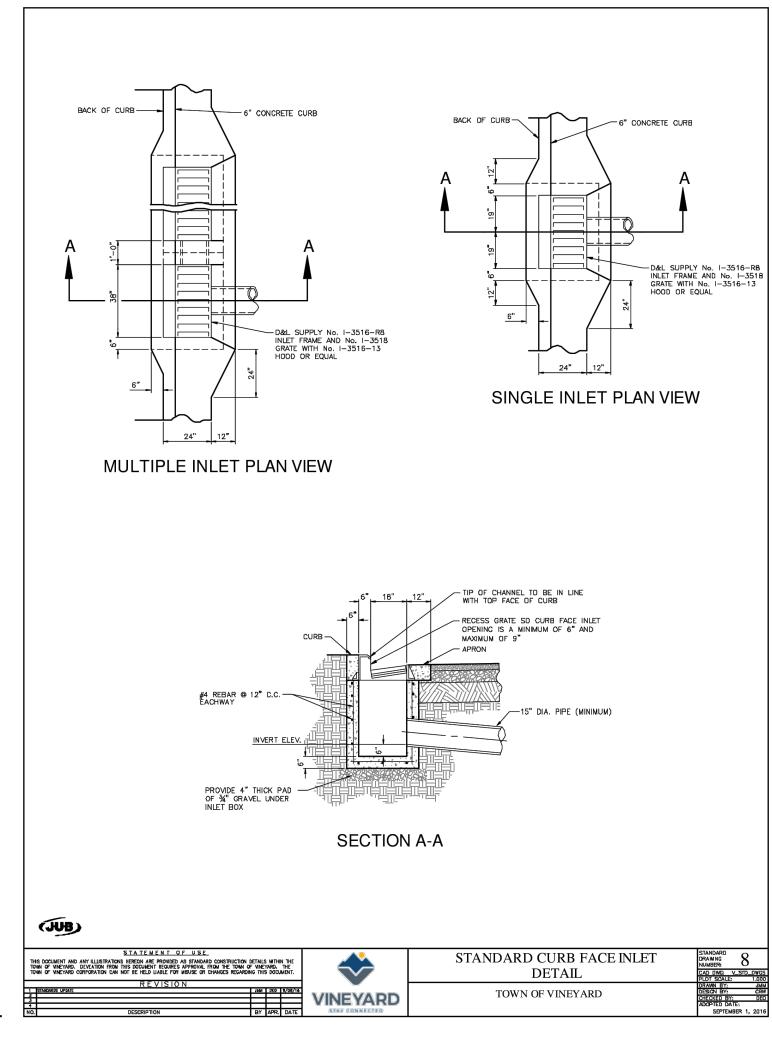
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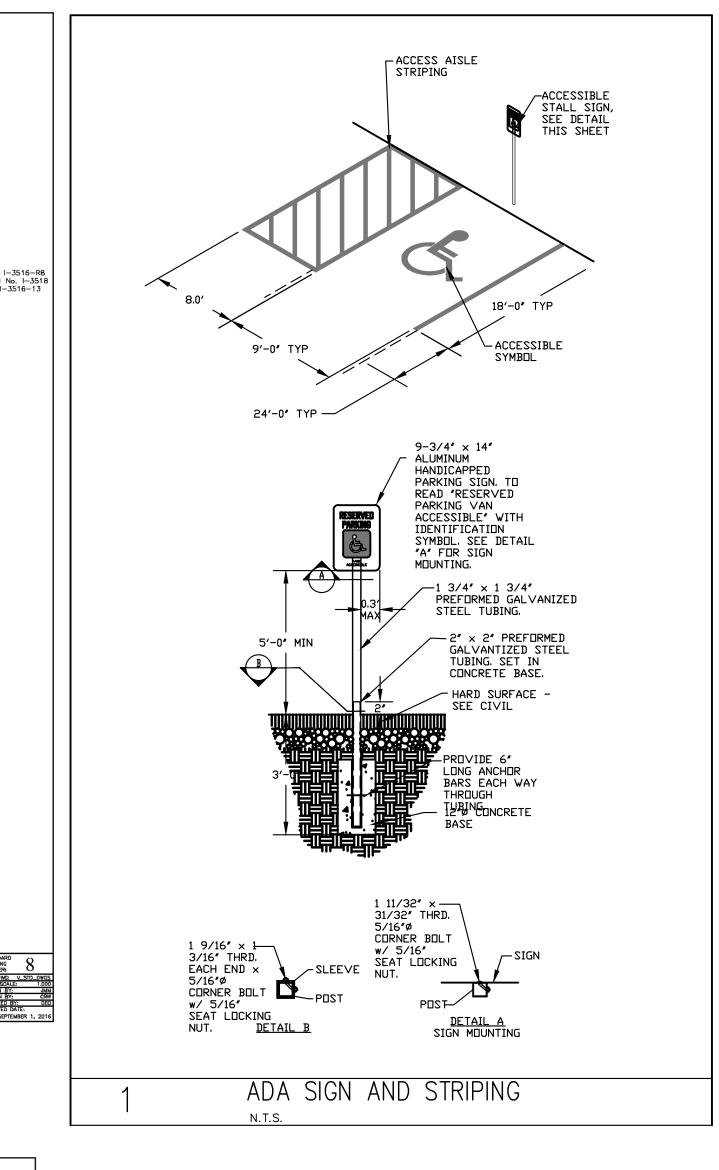




TURNING SPACE AT STREET LEVEL

**EXAMPLE 5** 

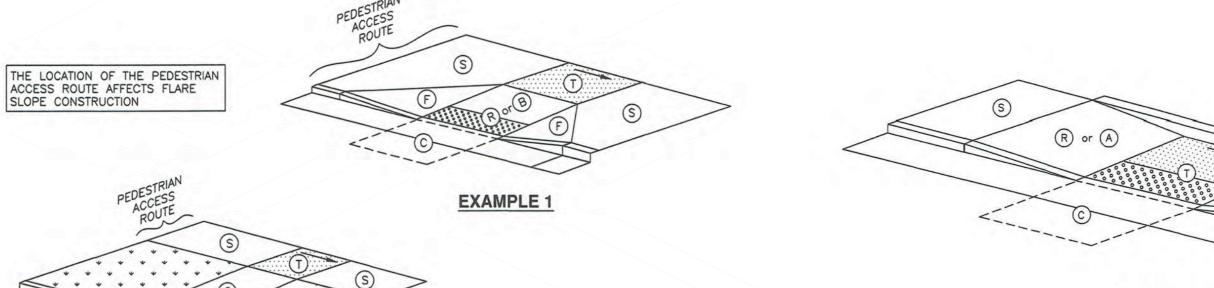




SITE PLAN REVIEW



ENGINEERING

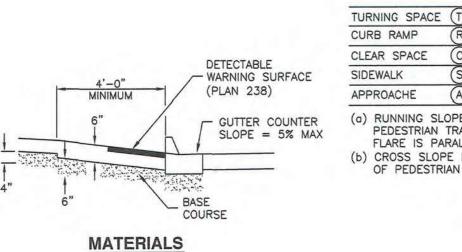


DIMENSION (R) (B) 4 FEET WIDE MINIMUM C T 4 FEET SQUARE MINIMUM CURB RETURN WHERE TURNING SPACE IS CONSTRAINED ALTERNATE ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK TABLE OF DIMENSIONS

> **EXAMPLE 2** CROSS RUNNING SLOPE (%) SLOPE (%) MAXIMUM MAXIMUM TURNING SPACE STREET GRADE DETECTABLE CURB RAMP 8.33 2 (c) - WARNING SURFACE (PLAN 238) BLENDED 2 (c) TRANSITION - GUTTER COUNTER CLEAR SPACE 2 (c) SLOPE = 5% MAX S) STREET GRADE SIDEWALK FLARE 10 --(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF

FLARE IS PARALLEL TO BACK OF CURB (b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL SLOPE TABLE 236. Mid-block curb cut assembly

September 2011



8.33 (a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB (b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL SLOPE TABLE Plan Mid-block curb cut assembly

6" WIDE CURB WALL (IF NECESSARY)

ELEMENT | DIMENSION

TABLE OF DIMENSIONS

(R) (A) 4 FEET WIDE MINIMUM

(C) (T) 4 FEET SQUARE MINIMUM

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

SLOPE (%) MAXIMUM

STREET GRADE

8.33

STREET GRADE 2

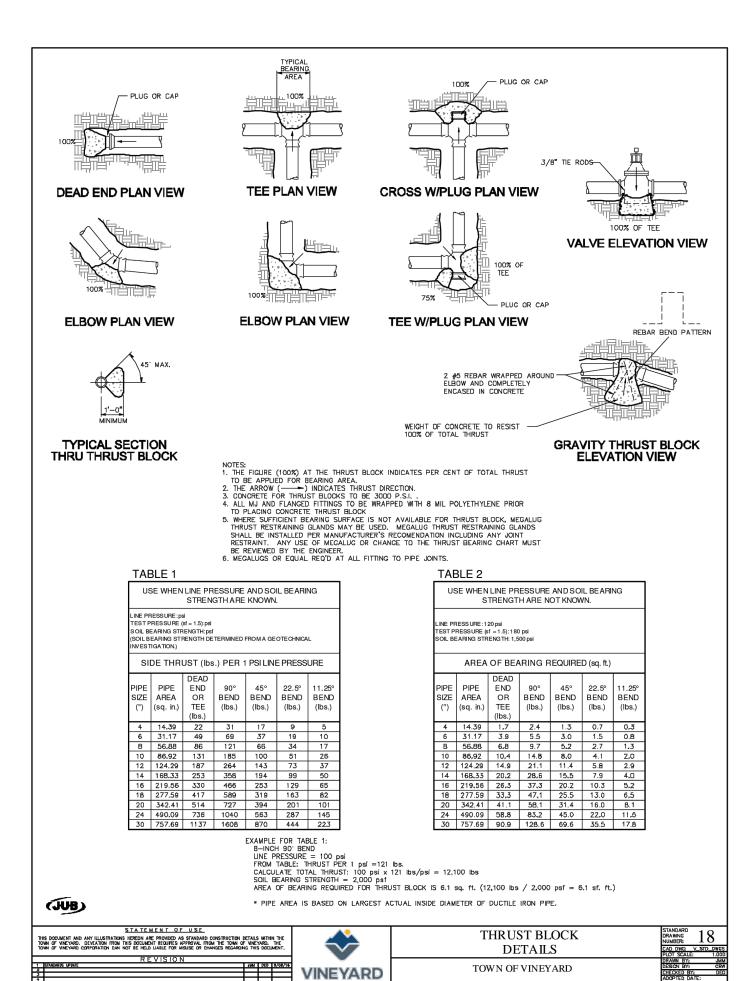
RUNNING CROSS

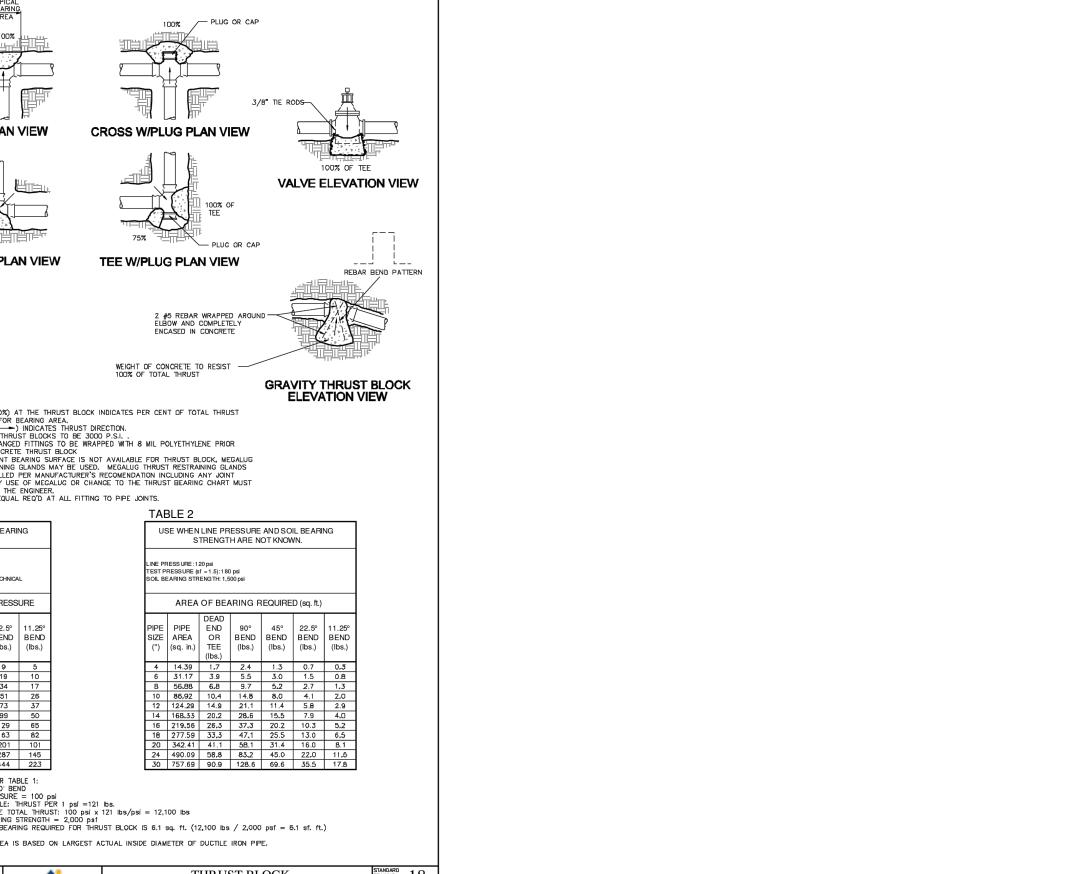
SLOPE (%)

MAXIMUM

STREET GRADE

September 2011





DATE: **9/23/2024** 

# BURGER KING VINEYARD 614 N MILL ROAD VINEYARD, UTAH 84059



# 52 WEST 100 NORTH HEBER CITY, UTAH 84032

### <u>SURVEYOR</u> DOMINION ENGINEERING ASSOCIATES, LC BRYAN ECONOMY 5684 SOUTH GREEN STREET MURRAY, UTAH 84123

<u>CIVIL ENGINEER</u>

CAL JOHNSON

(435) 654-4828

(801) 713-3000

LEGEND ENGINEERING

#### ARCHITECT

<u>owner</u>

HB BOYS, LLC

9100 S 300 W

SANDY, UT 84070

KWJ CONSTRUCTION

HERRIMAN, UT 84096

(801) 557-0370

GARY MOORE

CONTRACTOR

BEN JOHNSON

5526 W 13400 S

(801) 865-2758

BRIAN D. RUSSELL ARCHITECTS, INC. BRIAN RUSSELL 11772 SOUTH STONE CREST LANE RIVERTON, UTAH 84065 (801) 307-0800

### INDEX

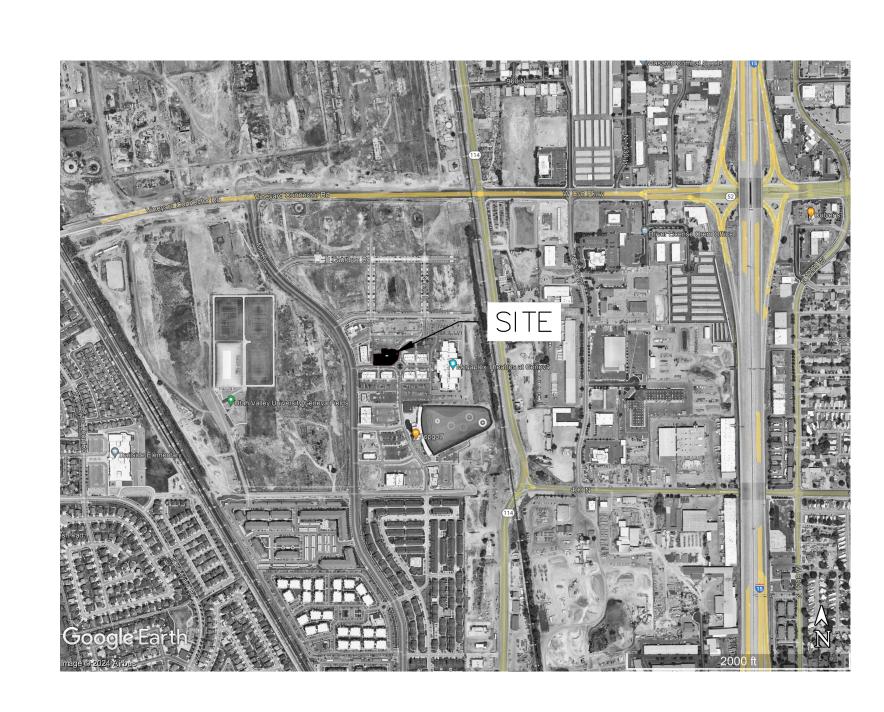
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C-3 Utility Plan

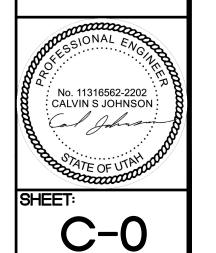
C-4 Details



VICINITY MAP

### LEGEND & ABBREVIATION TABLE

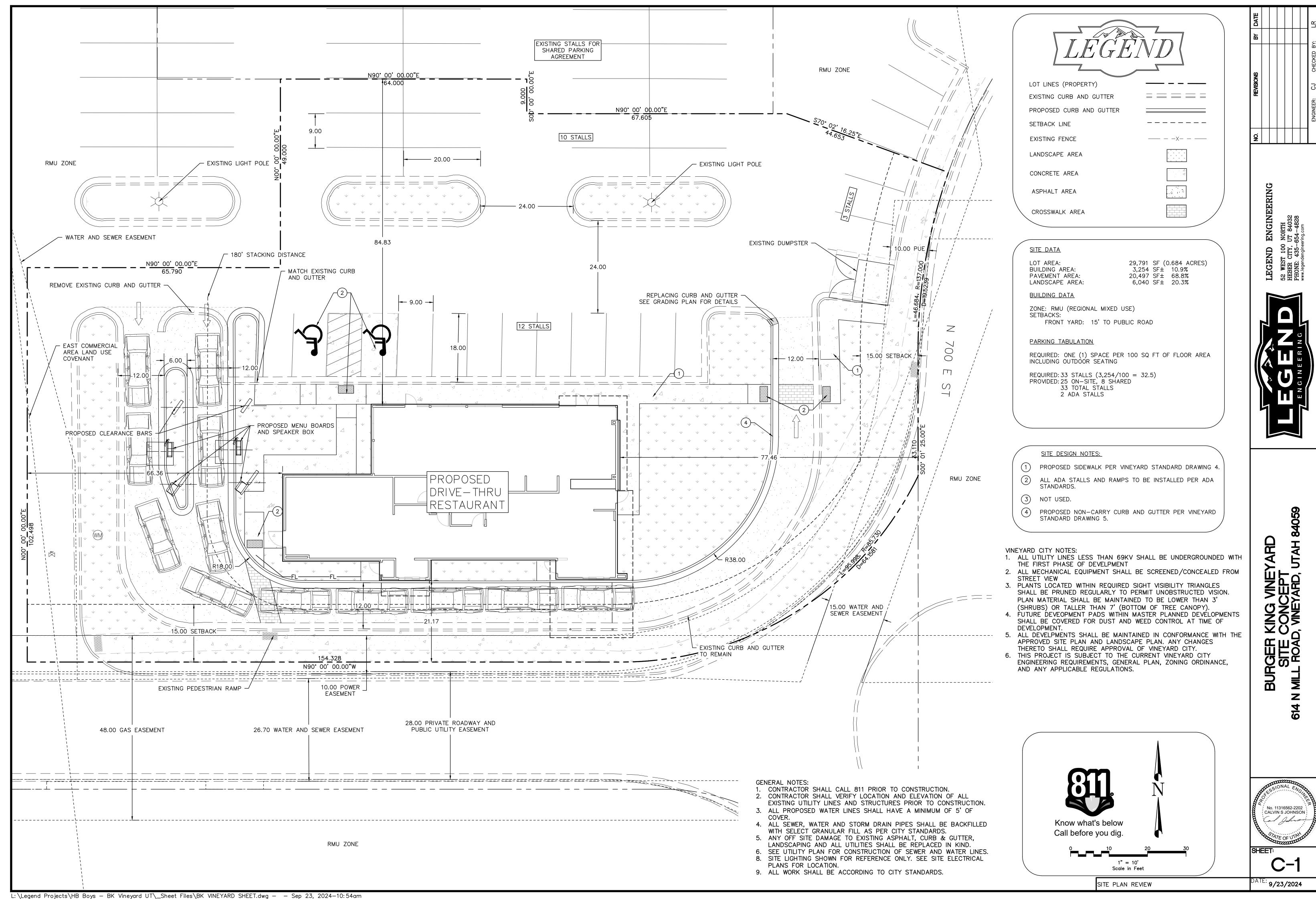
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CENTER LINE		TOP ASPHALT	TA
PROPOSED TRAIL		TOP OF GRATE	TOG
PROPOSED WATER LINE	w	FINISHED GRADE	FG
PROPOSED PRESSURIZED IRRIGATION	——PI———PI———	TOP OF CONCRETE	TC
PROPOSED SEWER LINE	SSSS	HIGH WATER ELEVATION	HWE
PROPOSED STORM DRAIN LINE	——SD————SD———	CATCH BASIN	
EXISTING SEWER LINE	—SS	EXISTING STREET LIGHT	$\Diamond$
EXISTING WATER LINE	—ww —	STORM DRAIN MANHOLE	SD
EXISTING STORM DRAIN LINE	—SD	EXISTING FIRE HYDRANT	
EXISTING CONTOUR		EXISTING WATER VALVE	₩V 
	_4960	EXISTING WATER METER	WM
FINISHED CONTOUR	4947.00	EXISTING SEWER MANHOLE	SS
	,	PROPOSED FIRE HYDRANT	×
EXISTING CURB AND GUTTER		PROPOSED WATER VALVE	W
PROPOSED CURB AND GUTTER		PROPOSED WATER METER	WM
		PROPOSED SEWER CLEANOUT	0
		PROPOSED SEWER MANHOLE	S



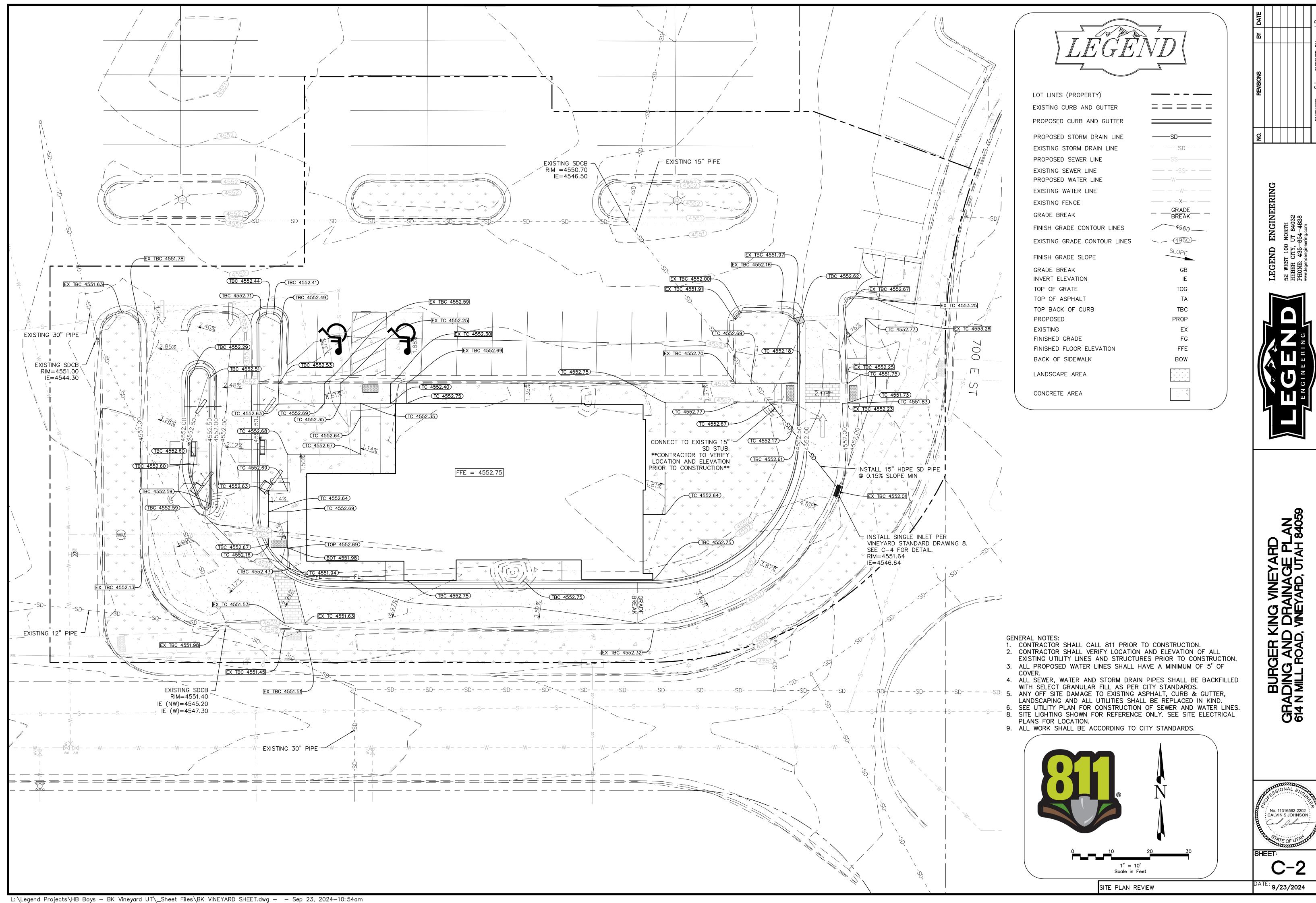
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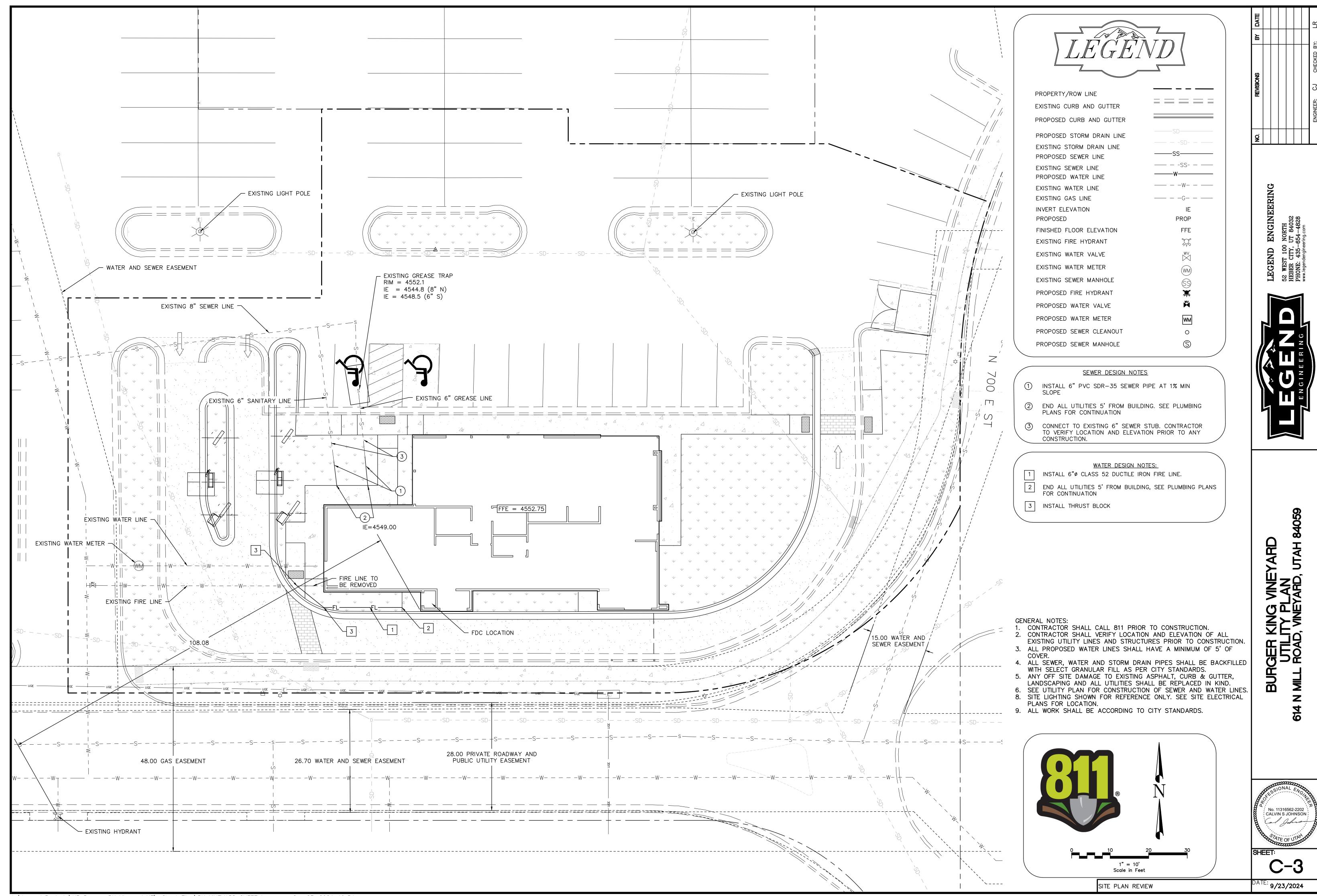
SITE PLAN REVIEW

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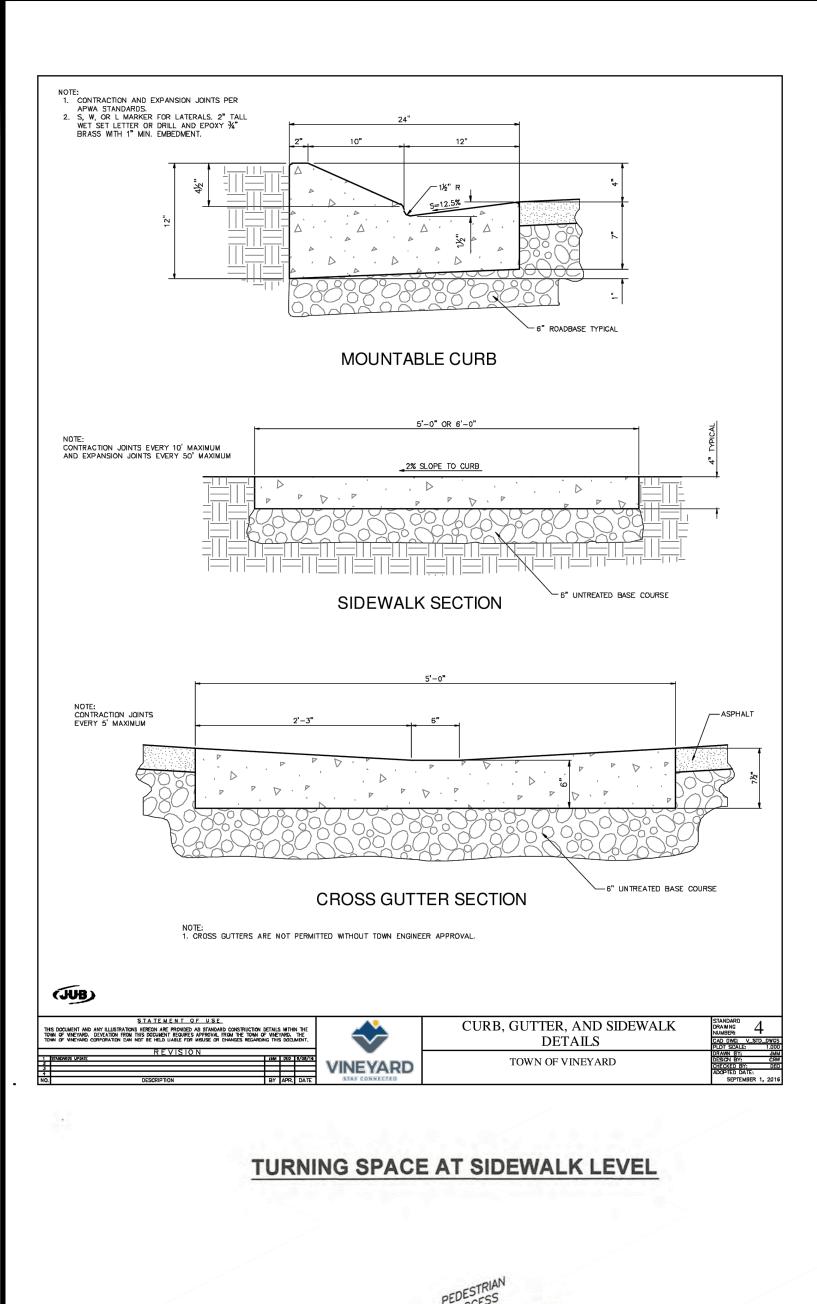


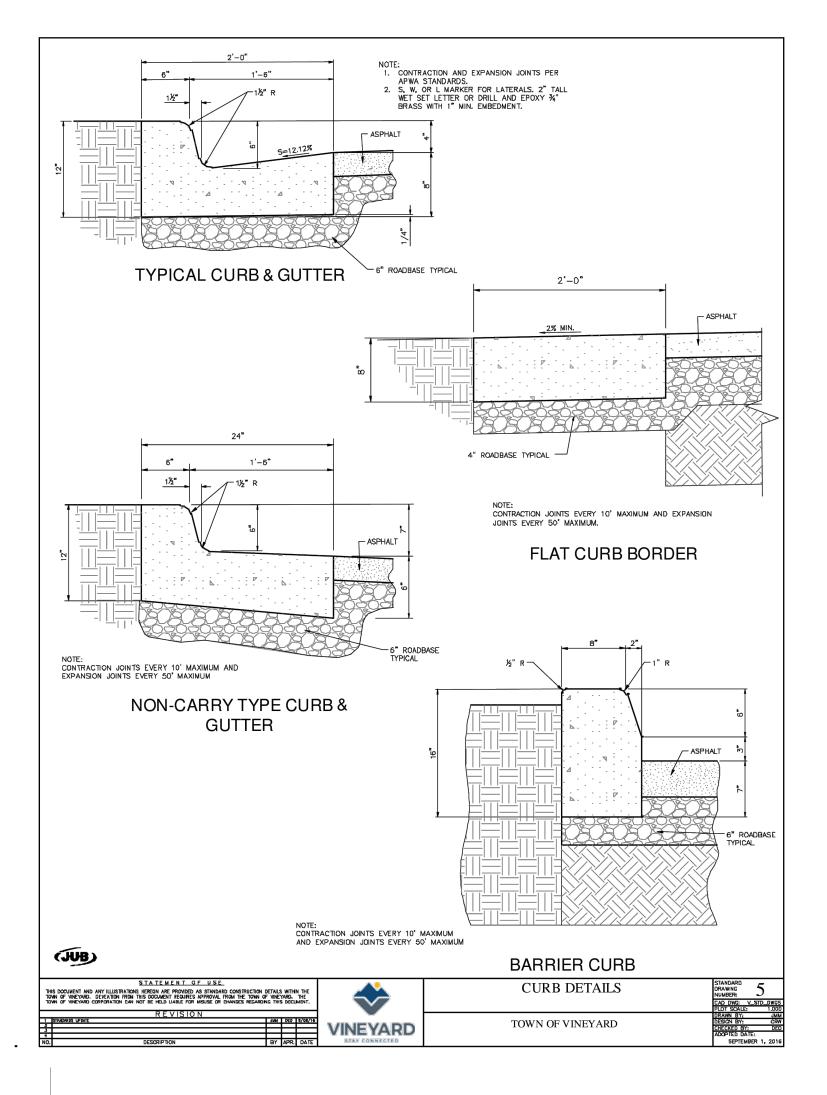
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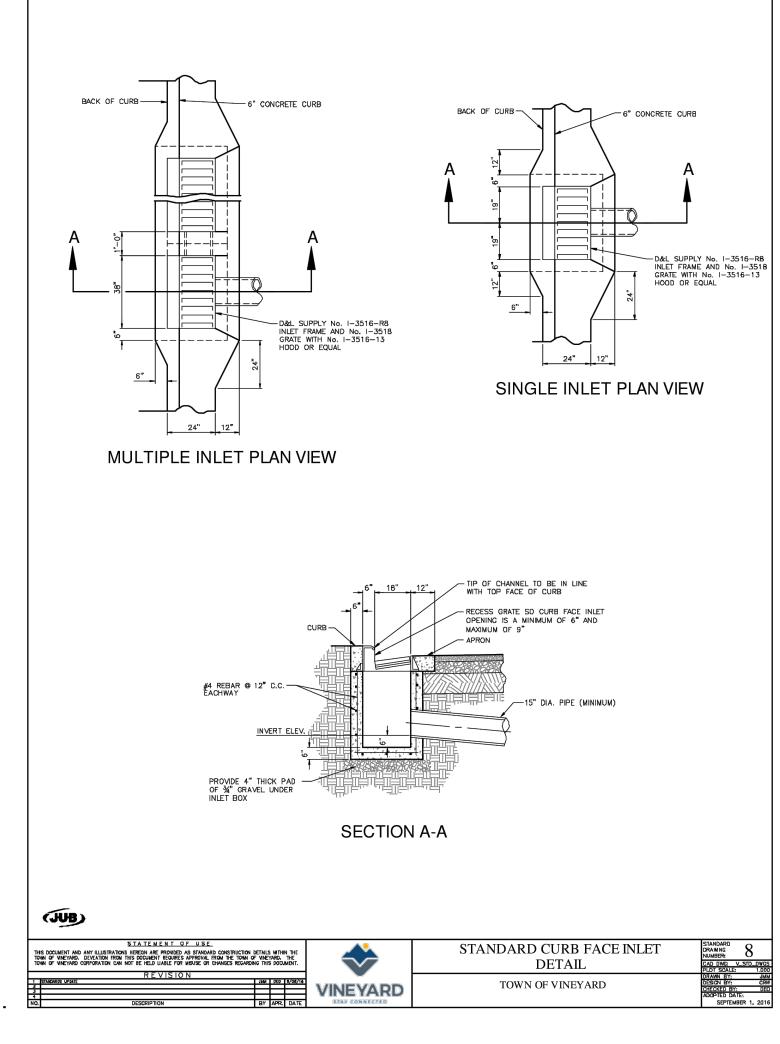


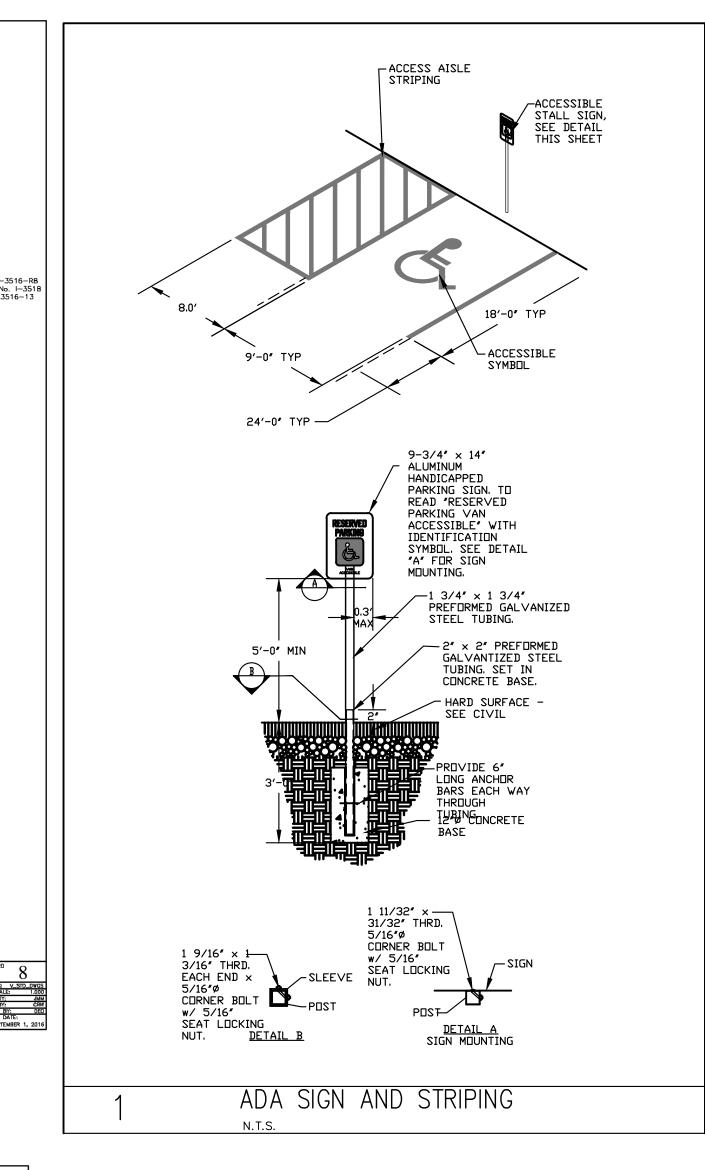
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TURNING SPACE AT STREET LEVEL





SITE PLAN REVIEW



ENGINEERING

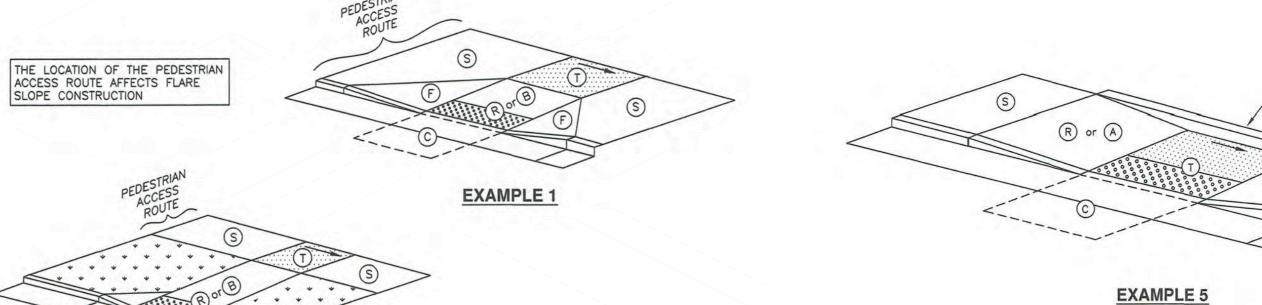
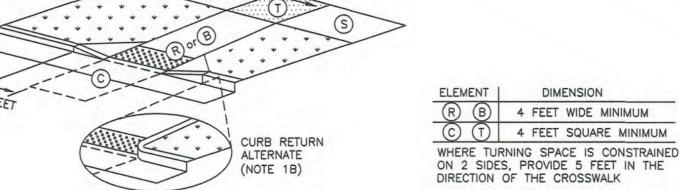


TABLE OF DIMENSIONS

(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF

September 2011

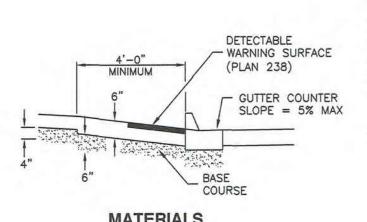


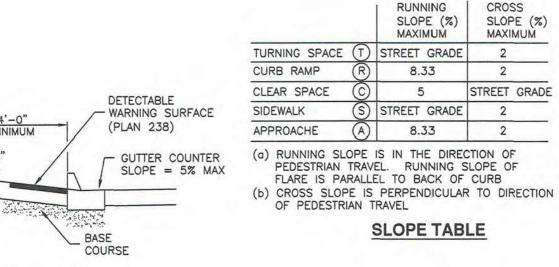
**EXAMPLE 2** 

			RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (% MAXIMUM
	TURNING SPACE	1	STREET GRADE	2
DETECTABLE  WARNING SURFACE	CURB RAMP	R	8.33	2 (c)
(PLAN 238)	BLENDED TRANSITION	B	5	2 (c)
GUTTER COUNTER SLOPE = 5% MAX	CLEAR SPACE	0	5	2 (c)
J SEON E = SAN MINA	SIDEWALK	S	STREET GRADE	2
CP-SA-	FLARE	(F)	10	

FLARE IS PARALLEL TO BACK OF CURB (b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL SLOPE TABLE 236. Mid-block curb cut assembly







Plan Mid-block curb cut assembly September 2011

6" WIDE CURB WALL (IF NECESSARY)

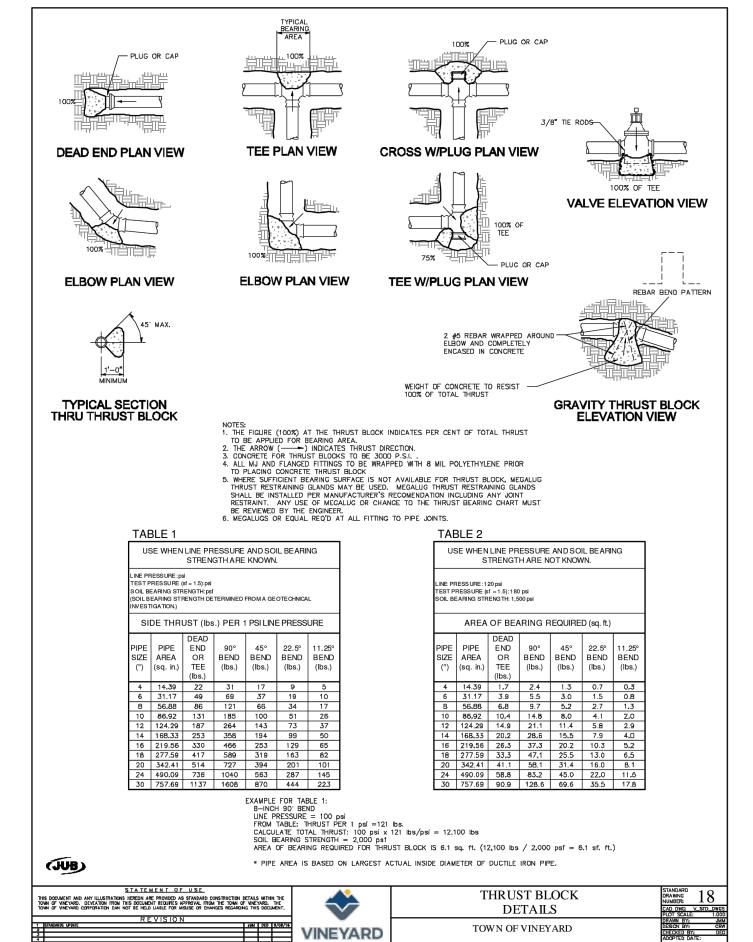
ELEMENT | DIMENSION

TABLE OF DIMENSIONS

(R) (A) 4 FEET WIDE MINIMUM

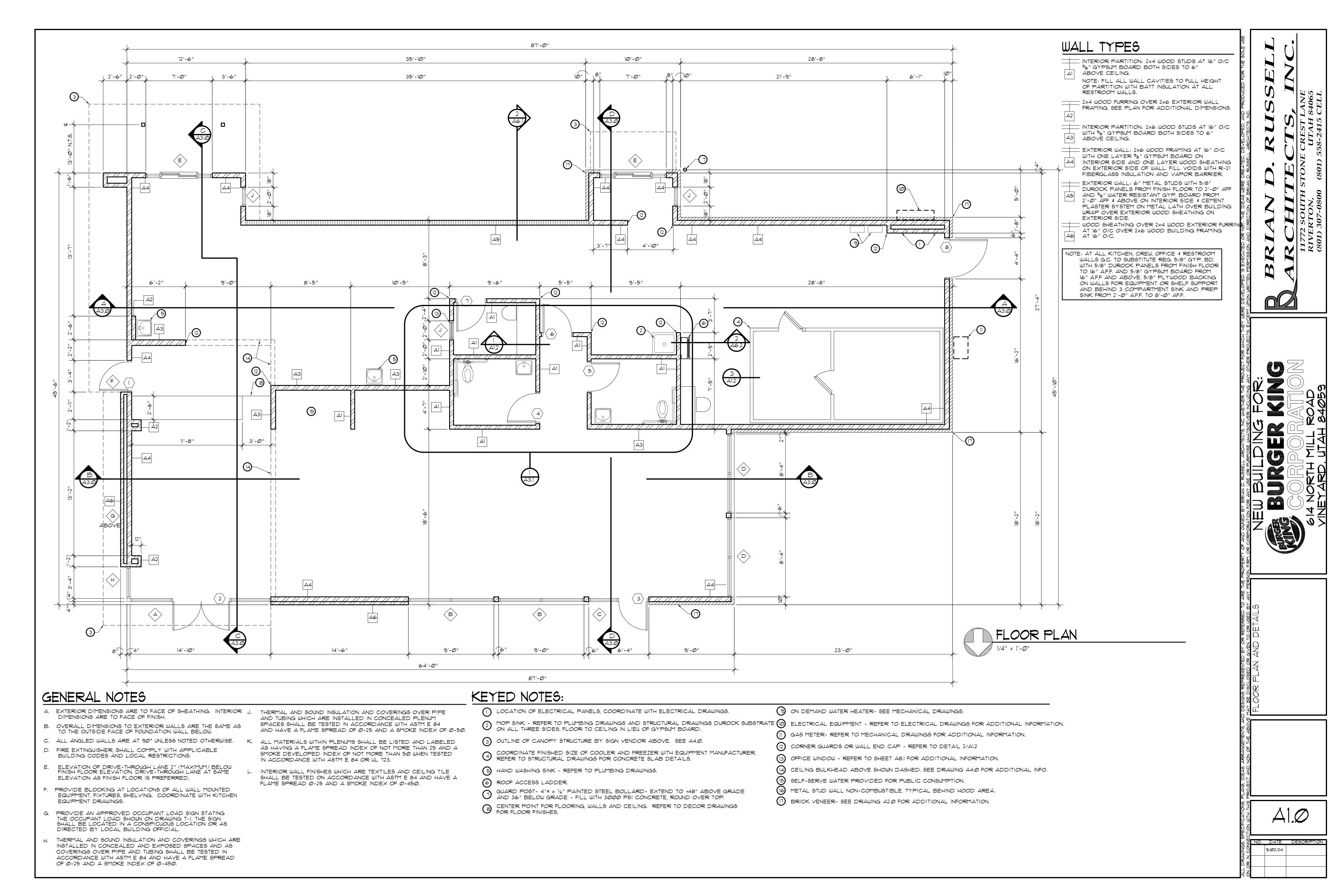
(C) (T) 4 FEET SQUARE MINIMUM

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

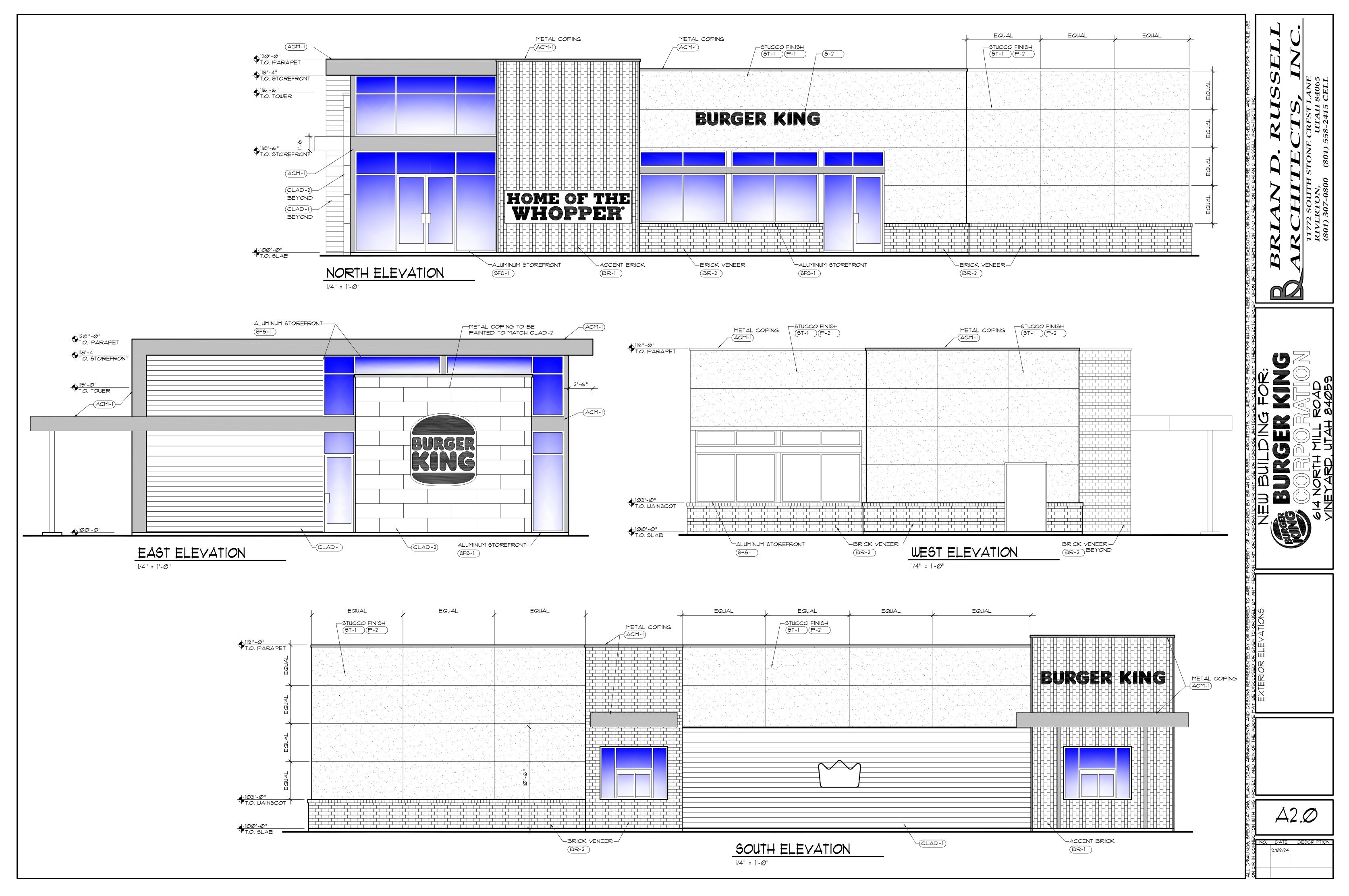




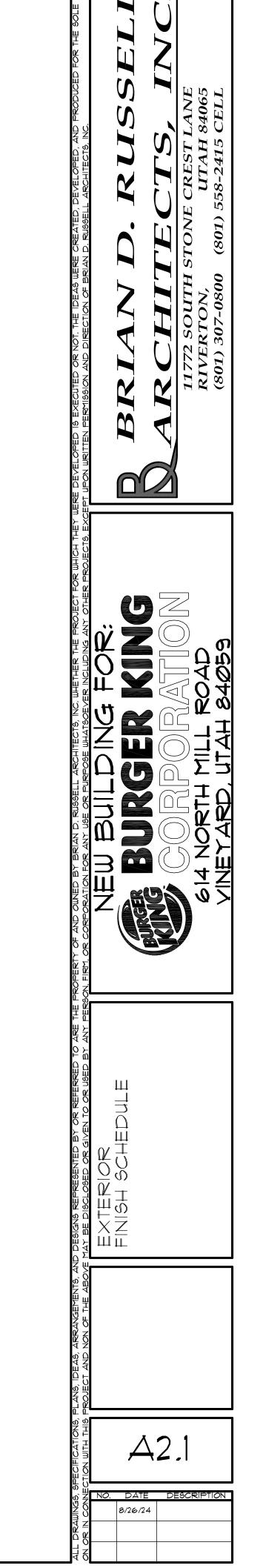
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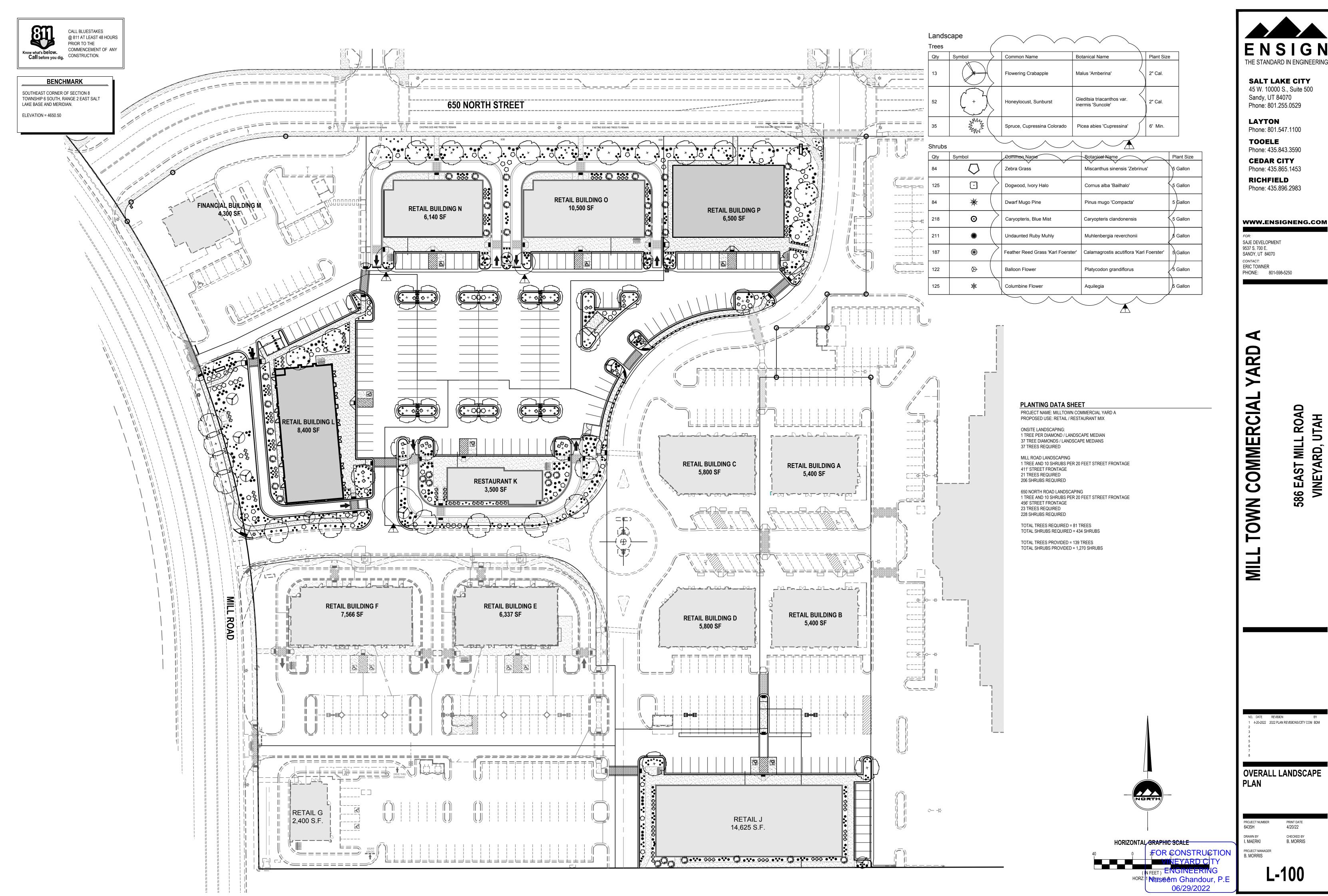


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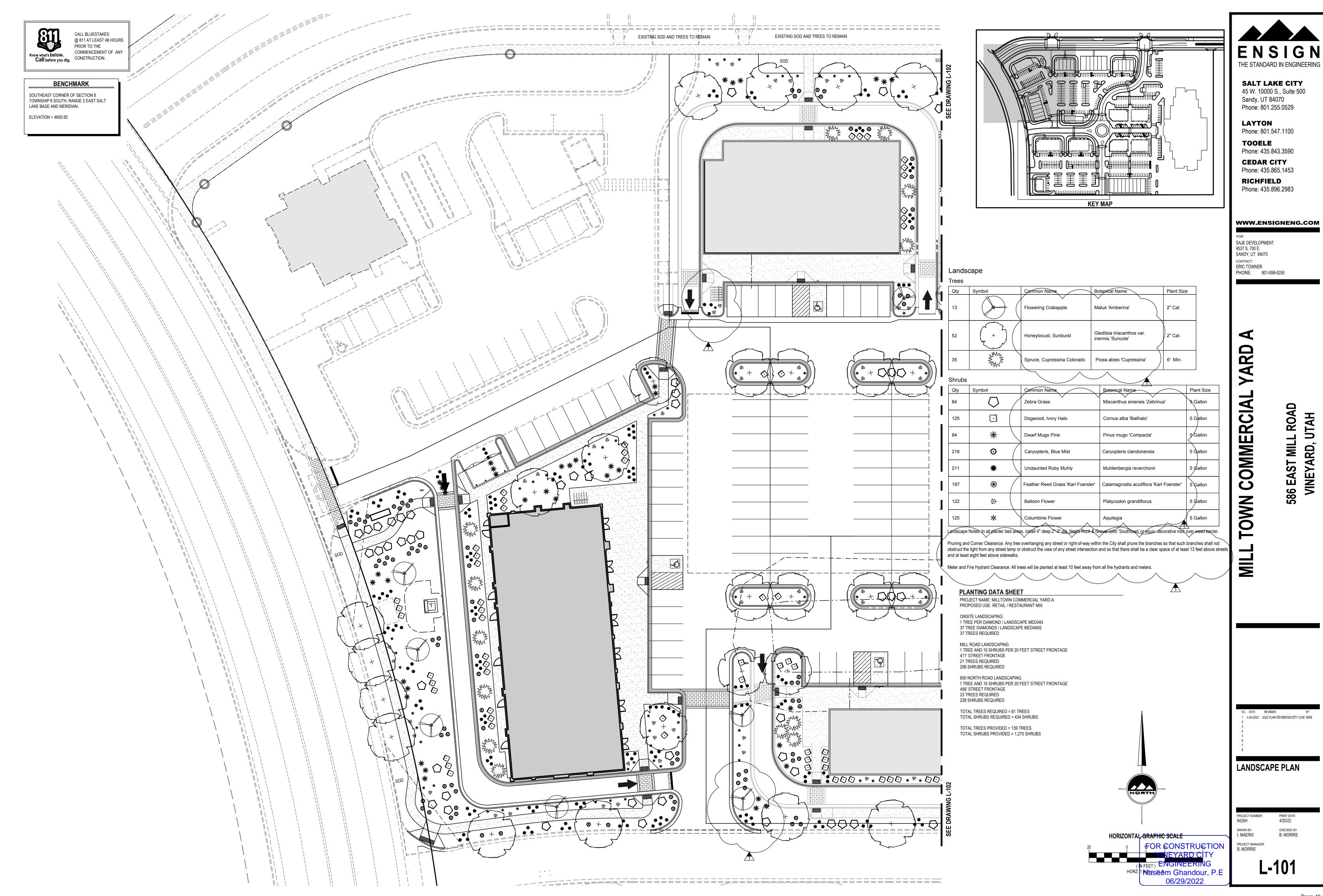


	BURGER KING PROTOTYPE MATERIALS & FINISH SCHEDULE								
TAG		MATERIAL	LOCATION	MATERIAL DESCRIPTION	PROSPECT MANUFACTURER	PRODUCT	FINISH/COLOR	DIMENSION	
ACM-1		ALUMINUM COMPOSITE METAL	CANOPIES	BLACK MATTE FRAME	LOCAL SUPPLIER	ACM	TO MATCH P-3	REFERENCE DESIGN DOCUMENTS 4MM THICKNESS	
ACM-2		ALUMINUM COMPOSITE METAL	BOTTOM CANOPIES	ORANGE UNDER CANOPY	ALLEN INDUSTRIES	АСМ	SHERWIN WILLIAMS LIGHT BROWN 6348	REFERENCE DESIGN DOCUMENTS 4MM THICKNESS	
ACM-3		ALUMINUM COMPOSITE METAL	MAIN CANOPY	CANOPY CEILING	ALLEN INDUSTRIES	ACM	CLEAR ALUMINUM FINISH	REFERENCE DESIGN DOCUMENTS 4MM THICKNESS	
BR-1		BRICK	MAIN ENTRANCE	WHOPPER BRICK WALL	Evolution Brick	Reversed Brick  1 1/2" Mixed Thickness	#95 - King Red + C-31 Type N Red Mortar by Brixment  #95 - King Red + C-31 Type N Red Mortar by Brixment	1/2" Thin Brick + 1/2" PermaBase Panel  1/2" and 1" THIN Brick + 1/2" PermaBase Panel	
BR-2		BRICK	WAINSCOT	WHOPPER BRICK WALL	Evolution Brick	1/2" Thin Brick	#401 Graphite + Dark Gray Pre-blend Mortar	1/2" Thin Brick + 1/2" PermaBase Panel	
M-1		MORTAR FOR BRICK	MAIN ENTRANCE	WHOPPER BRICK WALL	SpecMix	pre-mixed mortar	SM690 Firestone		
M-2		MORTAR FOR BRICK	MAIN ENTRANCE	WHOPPER BRICK WALL	SpecMix	pre-mixed mortar	Dark Gray		
SH-1		CLADDING	MAIN ENTRANCE / DT SIDE	WHOPPER BRICK WALL	NICHIHA	EN501U: Sierra Premium Shake	"Mahogany"	8 7/8 H x 9'4 L x 1/2" W	
MS-1		METAL	MAIN ENTRANCE	WHOPPER SCREEN WALL	ALLEN INDUSTRIES	COSTUME LIGHTBOX SCREEN	SHERWIN WILLIAMS LIGHT BROWN 6348. BACKGROUND: SHERWIN WILLIAMS BROWN 6342	TBD	
CLAD-1		CLADDING (WOOD)	MAIN ELEVATION, WAINSCOT & CEILING	FIBER CEMENT TEXTURED PANELS	NICHIHA	NEW VINTAGE WOOD	POPLAR	18" x 10'-0"	
S-1	SEAL WE TO THE TOTAL PARTY OF TH	SEALANT FOR NICHIHA WOOD	SEALANT FOR NICHIHA WOOD	SEALANT	ADFAST	ADSEAL 458-14	YELLOWSTONE	2.96" x 10'-0"	
CLAD-2	BURGER	CLADDING (CONCRETE)	MAIN FAÇADE	FIBER CEMENT TEXTURED PANELS	NICHIHA	INDUSTRIALBLOCK CONCRETE SERIES	GRAY	18" x 10'-0"	
ST-1		STUCCO	DINING EXTERIOR & BOH	EXTERIOR SMOOTH STUCCO FINISH	STO OR APPROVED EQUAL	TEXTURE: FINE SAND	MATCH PAINT COLOR DEPENDING ON LOCATION	N/A	
P-1		PAINT	DINING EXTERIOR	EXTERIOR PAINT	SHERWIN-WILLIAMS	ACRYLIC LATEX - FLAT	SW 7017 (DORIAN GRAY) 244-C3	N/A	
P-2		PAINT	вон	EXTERIOR PAINT	SHERWIN-WILLIAMS	ACRYLIC LATEX - FLAT	SW 7019 (GAUNTLET GRAY) 244-C6	N/A	
P-3		PAINT	METAL COLUMNS	EXTERIOR PAINT	BENJAMIN MOORE	TO MATCH ACM-1	2133-10 ONYX SEMI-GLOSS	N/A	
SFS-1		STOREFRONT SYSTEM	ALUMINUM STOREFRONT SYSTEM	HOME OF THE WHOPPER RELIEF IN BRICK	LOCAL SUPPLIER	ALUMINUM STOREFRONT SYSTEM	BLACK MATTE	VARIES	





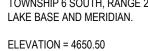
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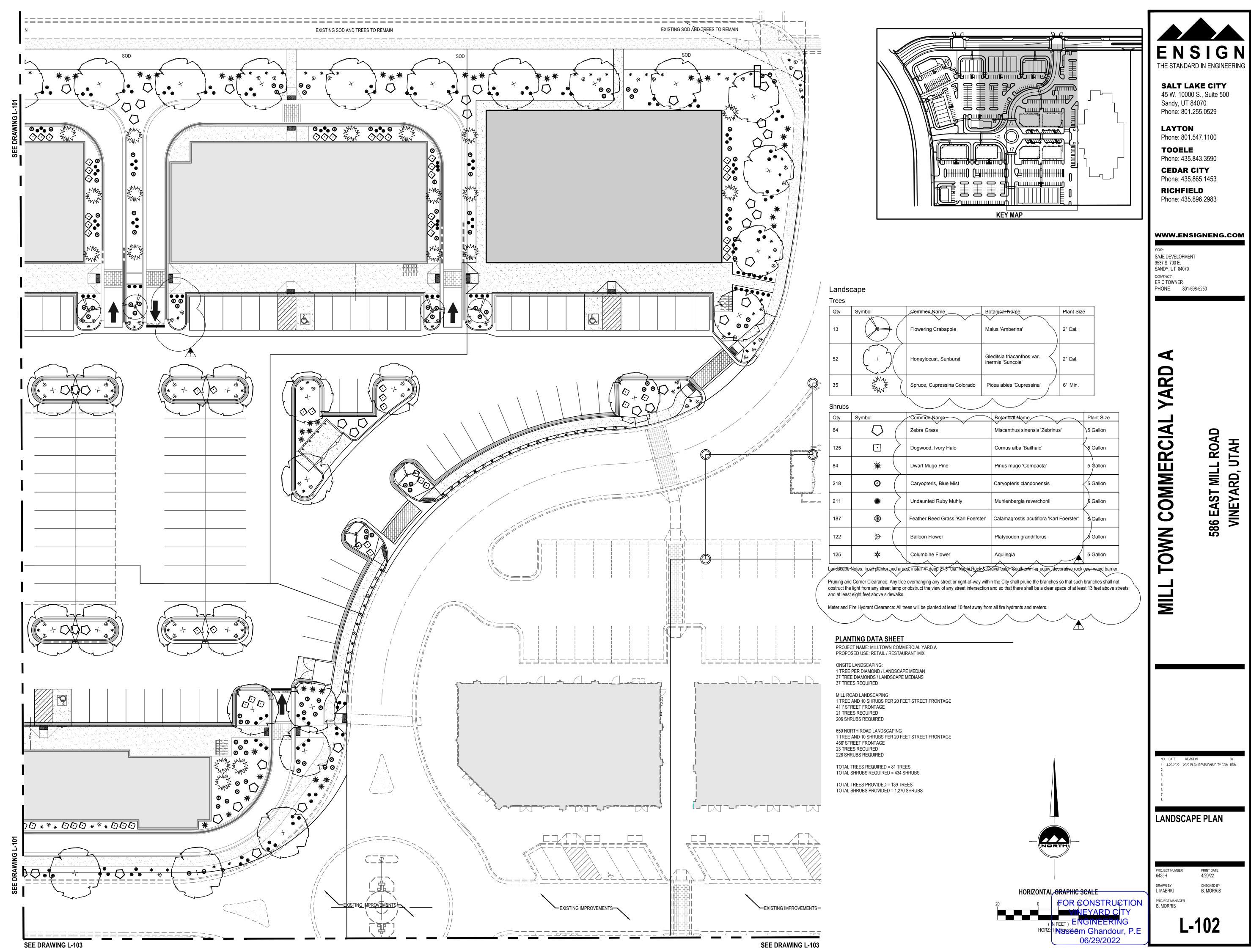




#### BENCHMARK

SOUTHEAST CORNER OF SECTION 8
TOWNSHIP 6 SOUTH, RANGE 2 EAST SALT



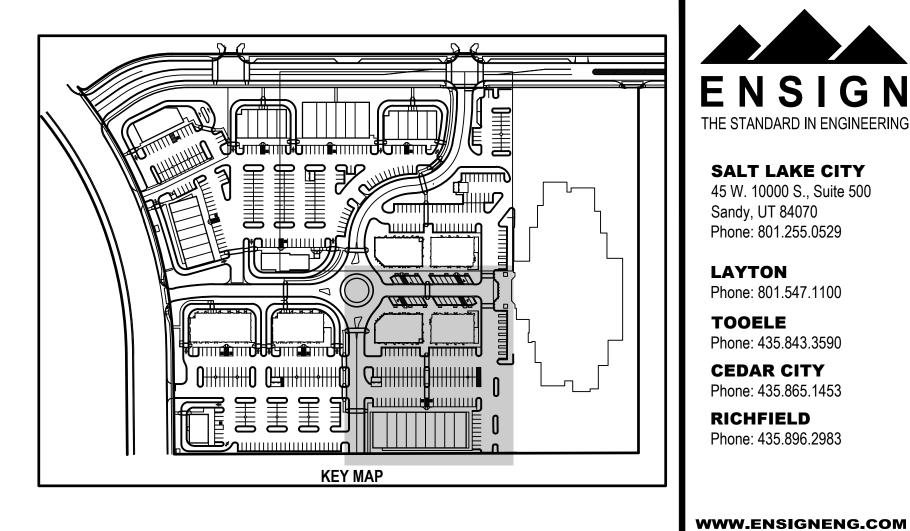




**BENCHMARK** 

SOUTHEAST CORNER OF SECTION 8 TOWNSHIP 6 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN.

ELEVATION = 4650.50



SALT LAKE CITY

45 W. 10000 S., Suite 500

Sandy, UT 84070

LAYTON

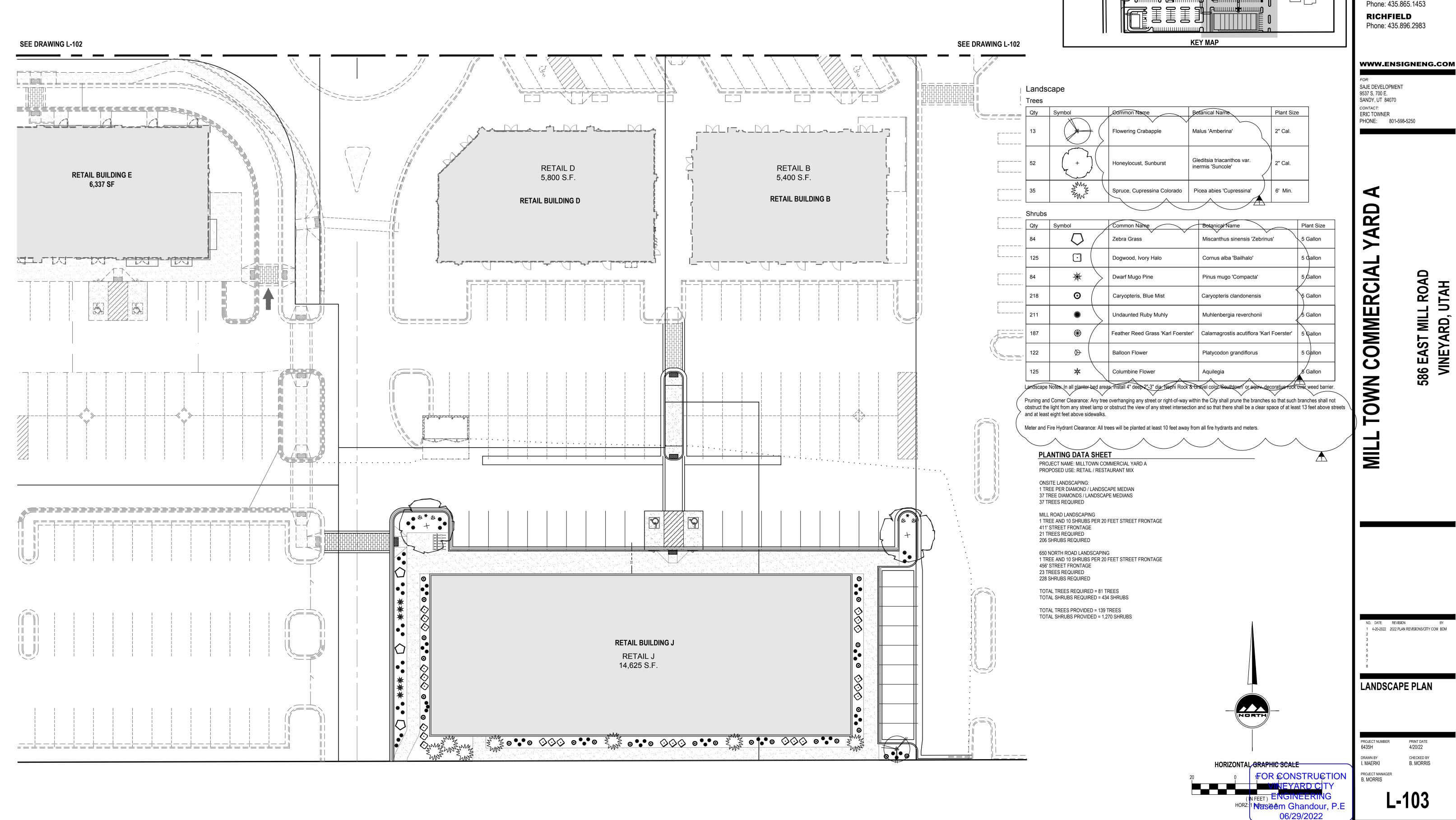
**TOOELE** 

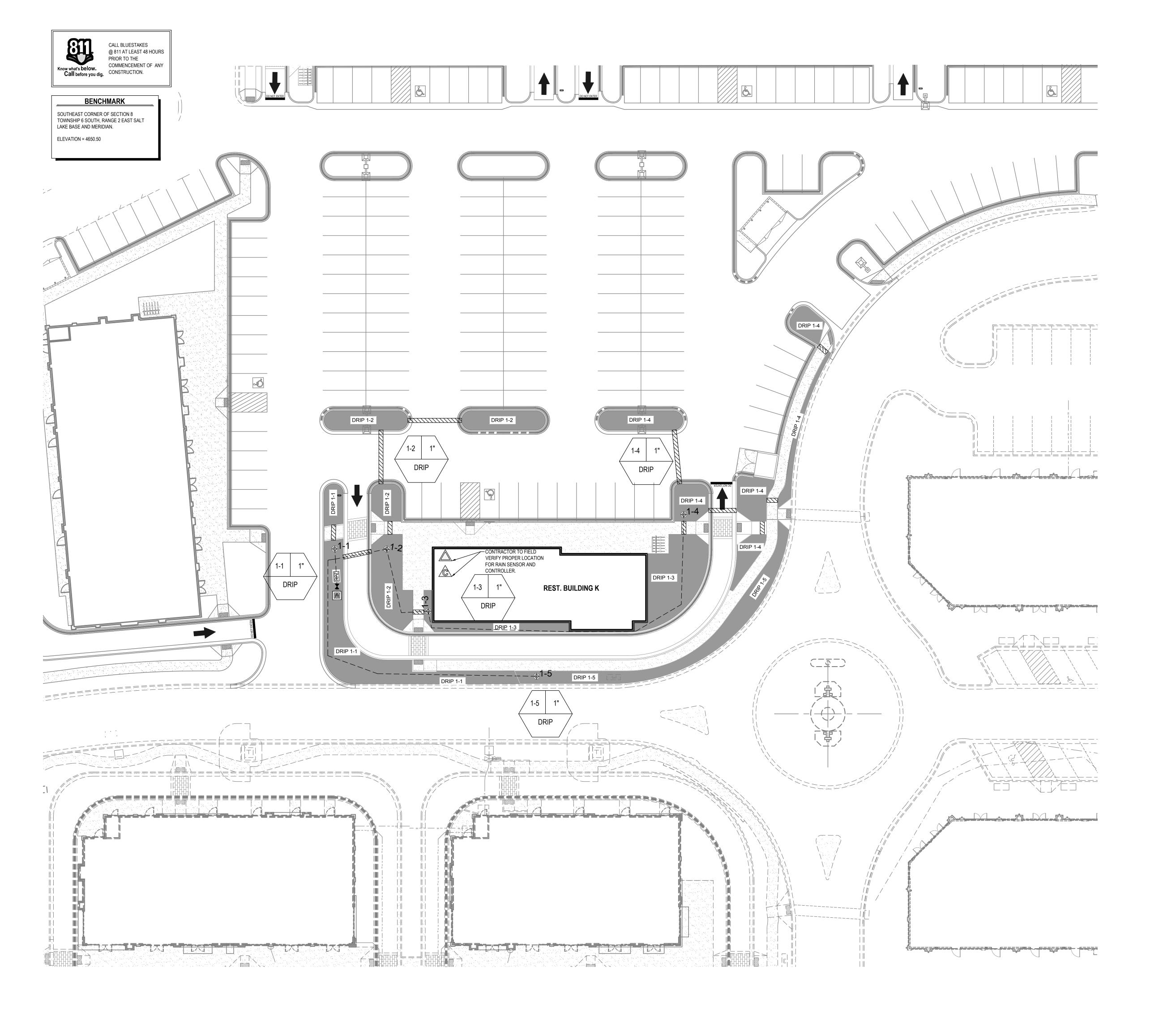
Phone: 801.255.0529

Phone: 801.547.1100

Phone: 435.843.3590

**CEDAR CITY** 





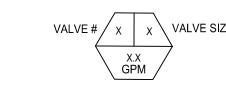
Irrigation

Qty	Symbol	Description			
5	$\oplus$	Rain Bird XCZ-100 COM			
		Pipe Sleeve - 2x Pipe Diameter			
1	M	2 inch meter			
		Lateral - Schedule 40 PVC			
		Mainline - Schedule 40 3/4"			
1		Rain Bird RSD-BEx Rain Sensor			
1		Rain Bird ESP-8LX Plus Controller			
1	X	Mueller 3/4" Brass Stop and Waste			
1	RPZ	RPZ Backflow Prevention Device			
	DRIP AREA	Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters*			

\*Install 2 emitters per shrub, 4 emitters per tree

THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNERS'S FACILITY OPERATION



ENSIGN THE STANDARD IN ENGINEERING

SALT LAKE CITY 45 W. 10000 S., Suite 500

Sandy, UT 84070 Phone: 801.255.0529

LAYTON Phone: 801.547.1100 **TOOELE** 

Phone: 435.843.3590 **CEDAR CITY** Phone: 435.865.1453

RICHFIELD Phone: 435.896.2983

**WWW.ENSIGNENG.COM** 

SAJE DEVELOPMENT 9537 S. 700 E. SANDY, UT 84070

CONTACT: ERIC TOWNER PHONE: 801-598-5250

ARD MMERCIAL L ROAD UTAH 586 EAST VINEYAR

'ARD,

TOWN CO MILL

1 4-20-2022 2022 PLAN REVISIONS/CITY COM BDM

**IRRIGATION PLAN** BUILDING K

PROJECT MANAGER B. MORRIS L-201

HORZ: 1 Naseem Ghandour, P.E

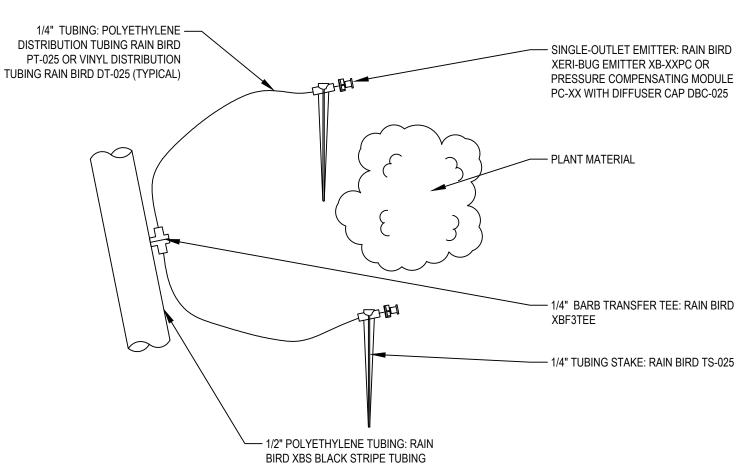
06/29/2022

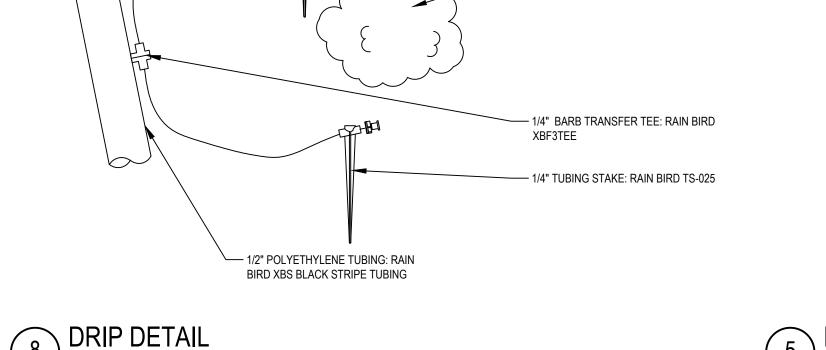
#### **GENERAL LANDSCAPE NOTES:**

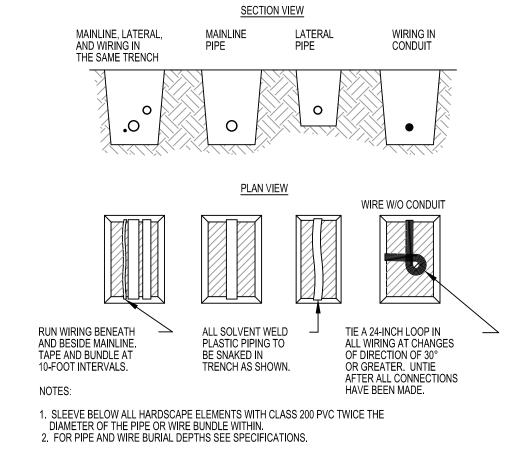
- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- 2. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- 3. NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- 4. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERILIZER.
- 5. MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- 6. LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- 7. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
- 8. CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- 9. PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
- A. 4" TOPSOIL IN ALL SOD AREAS B. 6" TOP SOIL IN ALL PLANTER BEDS
- 10. WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECCOMMENDATIONS.

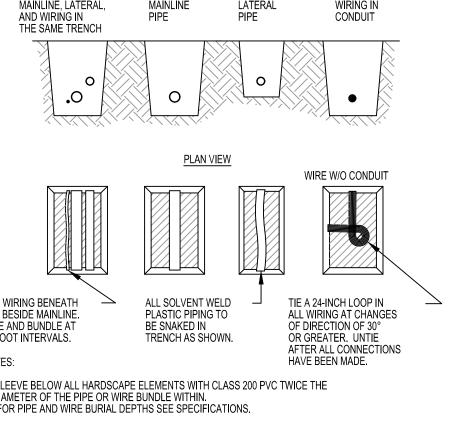
#### **IRRIGATION NOTES:**

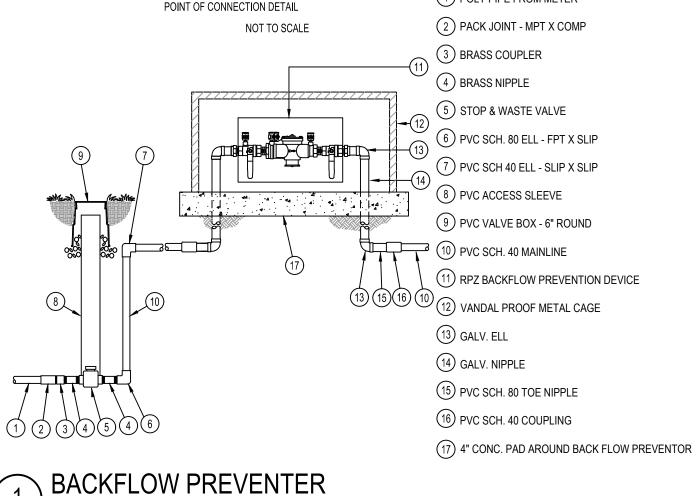
- 1. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- 2. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- 3. PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- 4. TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- 5. ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- 6. ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- 7. DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPERATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- 8. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES - MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- 10. ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF
- 11. FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- 12. CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- 13. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.





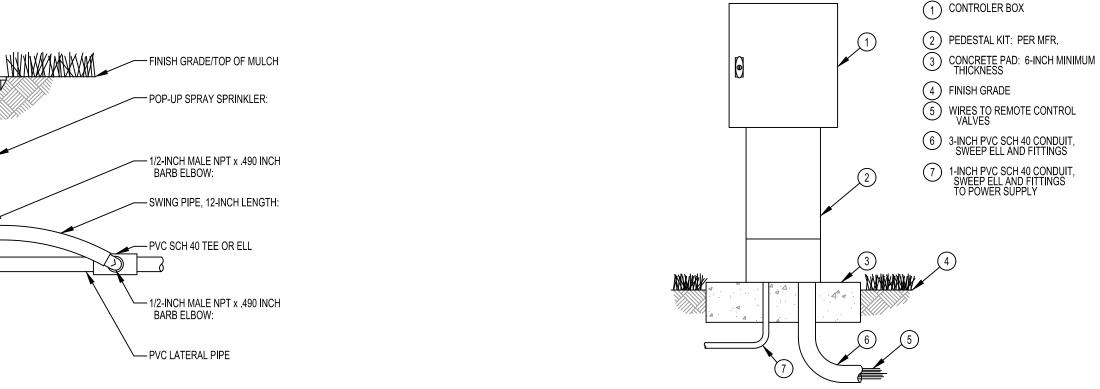


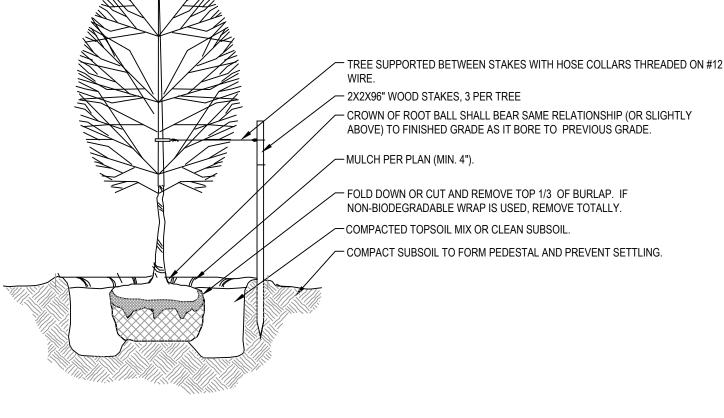




(1) POLY PIPE FROM METER

PIPE AND WIRE TRENCHING SCALE: NONE



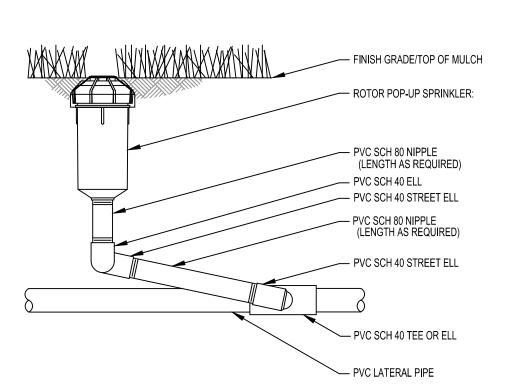


TREE PLANTING DETAIL

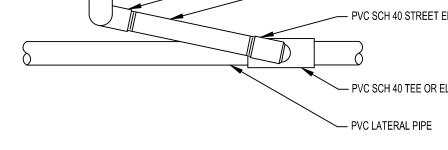


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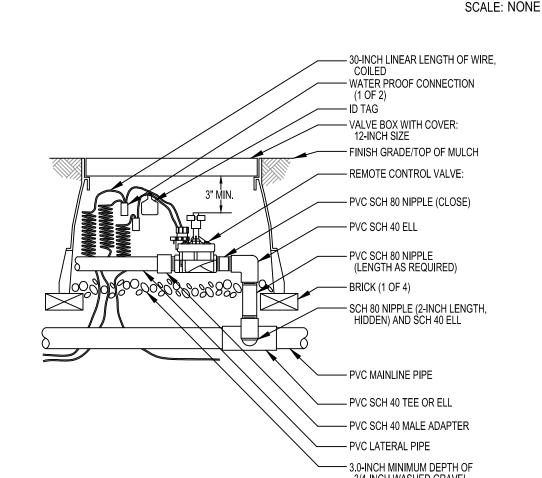
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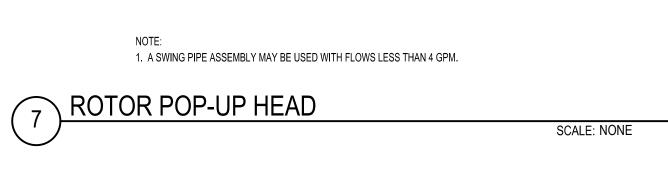
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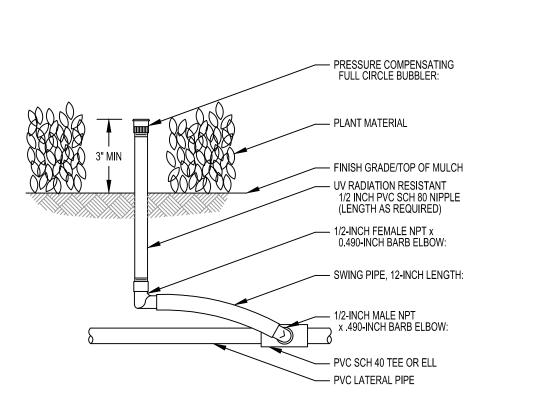


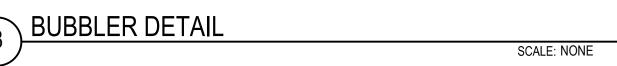
POP-UP SPRAY SPRINKLER

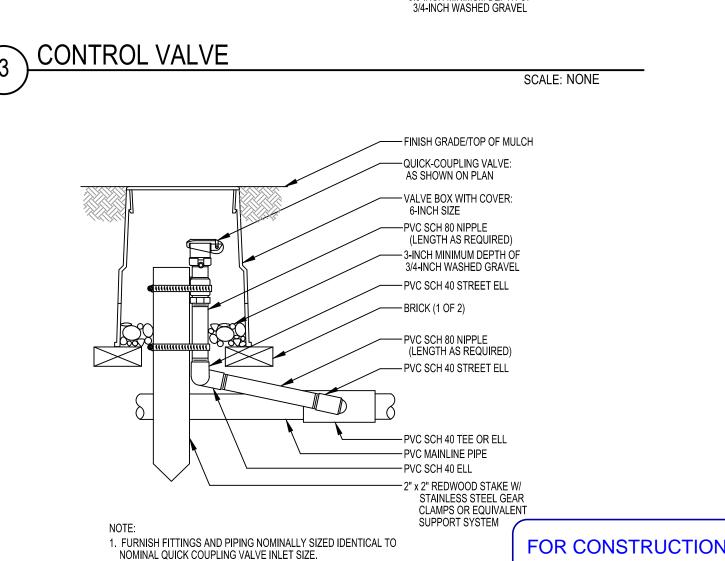


**IRRIGATION CONTROLLER** 

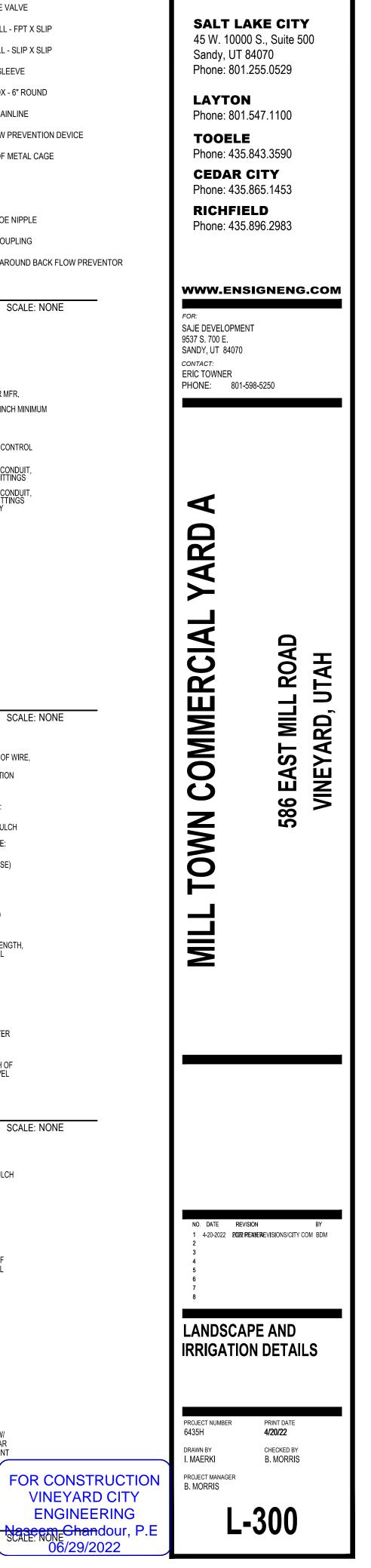


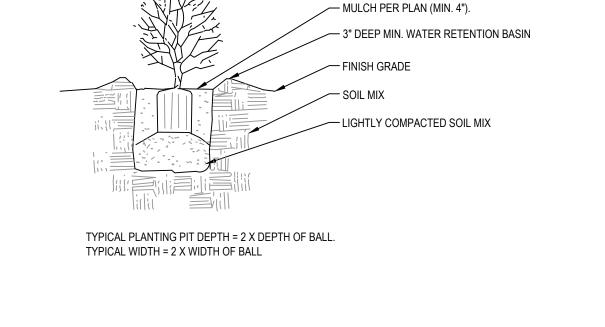


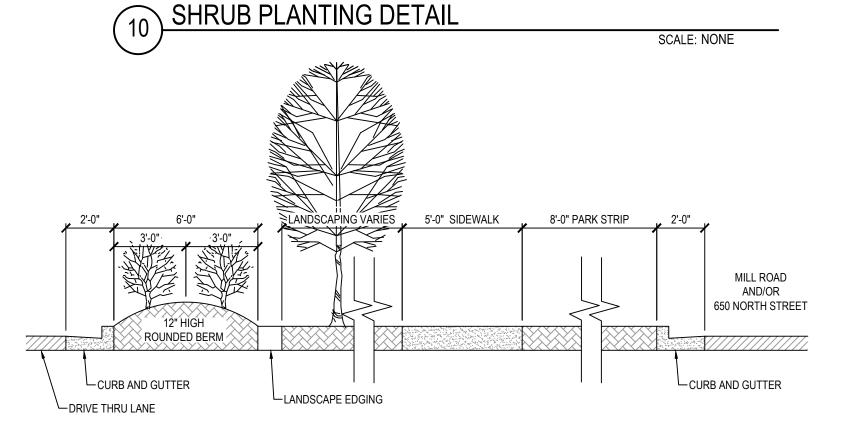




QUICK-COUPLING VALVE









			LUMINAIRE SCHEDULE						
				VOLTS		LAMPS			
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER		QTY	MODEL	MOUNTING	VA	NOTES
		COOPER	PRV-PA2A-740-U-T4W-BK-PR	MVOLT	LED	SUPPLIED W/UNIT	POLE	113	1,3
L2	AREA POLE FIXTURE WITH 2 HEADS	COOPER	(2)PRV-PA2A-740-U-T4W-BK-PR	MVOLT	LED	SUPPLIED W/UNIT	POLE	226	1,2
L3	STREET POLE FIXTURE	HOLOPHANE	PROVIDE POLE AND FIXTURE SHOWN IN DETAIL 4/E3.0					115	

1) ACCEPTABLE EQUAL:

2) PROVIDE THE FOLLOWING OPTIONS: SSP20-4.0-11-BK-DM2180-BC PROVIDE THE FOLLOWING OPTIONS: SSP20-4.0-11-BK-DM1-BC

	Р									MOUNTING		FEED		MAINS	3	DIMS			SPECI	AL EQUIPMENT	
PANE	L	-	VOL	TAGE	E		208	120					20	AMP		16"	W		X	GROUND BUS	
	MYERS PEDESTAL								1					_			-	-		SUB-FEED BRKR	
TYPE		-	PHAS	SE	1	W	/IRES	3		FLUSH		TOP		LUGS		16.5"	D	-		NEMA 3R	
	SEE DRAWINGS					_						•		_			-	-		SURGE PROTECTOR	
LOCA	TION	-	AIC		42,00	b	AMPS		X	SURFACE	X	BOTTOM	X	FUSES	<b>,</b>	48"	Н			=	
CIR	CIRCUIT		0	UTLE	TS	В	RKR	WIRE	CIRCUIT	CON	MBINED PHAS	SES	CIRCUIT	WIRE	BRKR	OUTL	ETS			CIRCUIT	CIR
NO.	DESCRIPTION	CODE	LTS	CO	MIS	P	AMP	SIZE	LOAD	Α		С	LOAD	SIZE	AMP	P MIS	CO	LTS	CODE	DESCRIPTION	NO.
1	PARKING LIGHTS		8			1	20	6	1356	1356											
												1378	1378	6	20	1		12		STREET LIGHTS	2
									VA	1356		1378	3	KVA	CODES	3					
									DIV	1695		1723	AV. AMF	PS	1 = SEE	DRAWII	NGS F	OR CO	NDUIT 8	CONDUCTOR SIZE	
									AMPS	14		14	<u>16</u>	6 A	2 = SHL	INT-TRIP	BRE	AKER		5 = GFCI BREAKER	
	3 = SUBFEED BREAKER 6 = GFEP BREAKER																				
	4 = PROVIDE LOCK OFF DEVICE																				
													THIS PAN	EL, ALL	OF ITS	LUGS, I	BREA	KERS,	ETC. SI	HALL BE RATED FOR 75 [	DEG C

	ELECTRICAL SYMBOL SCHEDULE									
SYMBOL	DEVICE/FIXTURE DESCRIPTION	CATALOG NUMBER	MOUNTING	COMMENTS						
Ю	WALL LIGHT FIXTURE	SEE LIGHTING FIXTURE SCHEDULE	WALL	(1) (2)						
$\ominus$	AREA LIGHT FIXTURE — POLE MOUNTED	SEE LIGHTING FIXTURE SCHEDULE	POLE	(1) (2)						
<b>(</b> )	JUNCTION BOX	4" x 4" SEE SPEC.	CEILING	(12)						

	WIRING IN CND IN CEILING OR WALL		WIRING IN CND IN GROUND OR FLOOR
•	CONDUIT TURNED UP		CONDUIT TURNED DOWN
•	CIRCUIT HOME RUN TO PANEL. 3 CONDU	ICTORS INCLUDING THE EQUIPM	ENT GROUND CONDUCTOR.
	CIRCUIT HOME RUN TO PANEL. NUMBER INDICATE NUMBER OF CONDUCTORS. EX. CIRCUITS WITH 7 CONDUCTORS (SEPERATION)	TWO CIRCUITS, FOUR CONDUC	TORS, COMMON NEUTRAL AND THREE
	CAT5/CAT6 CABLE IN CONDUIT OR FREE-	-AIR	

INSTALL CONDUIT AS DRAWN ON THE PLANS. THE ONLY EXCEPTIONS ARE THOSE AUTHORIZED IN WRITING BY THE ENGINEER. ALL CONDUITS SHALL INCLUDE AN EQUIPMENT GROUND CONDUCTOR SIZED PER NEC.

#### ABBREVIATIONS/NOTES

- AFF ABOVE FINISHED FLOOR, AFG ABOVE FINISHED GRADE, AIC AMPS INTERUPTING CAPACITY, BC BARE COPPER, BFC - BELOW FINISHED CEILING, BFG - BELOW FINISHED GRADE, CND. OR C. - CONDUIT, CLG - INSTALLED IN CEILING,
- CT CURRENT TRANSDUCER, DFA DROP FROM ABOVE, (E) EXISTING, EC ELECTRICAL CONTRACTOR, EV ELECTRO VOICE, GC - GENERAL CONTRACTOR, GND - GROUND, MC - MECHANICAL CONTRACTOR, MCA - MINIMUM CIRCUIT AMPS.
- P.C. PLUMBING CONTRACTOR, POC POINT OF CONNECTION, POS POINT OF SALES, RMC RIGID METAL CONDUIT, SCA - SHORT CIRCUIT AMPERES, TC - TEMP. CONTROL CONTRACTOR, UNO - UNLESS NOTED OTHERWISE, VA - VOLT/AMPS,
- VIF VERIFY IN FIELD, WP WEATHER PROOF/NEMA 3R
- SEE LIGHTING FIXTURE SCHEDULE FOR TYPE AND SPECIFICS.
- SEE LIGHTING FIXTURE SCHEDULE FOR MOUNTING OF FIXTURE.
- PROVIDE AND WIRE FROM ADJACENT J-BOX AS REQUIRED BY THE FIXTURE AND NUMBER OF CONDUITS.
- PROVIDE UN-SWITCHED CONDUCTOR TO EMERGENCY BALLAST OR FIXTURE.
- PROVIDE DIRECTIONAL ARROWS AS SHOWN.
- ACCEPTABLE EQUALS ARE P&S, LEVITON, COOPER, HUBBELL ACCEPTABLE EQUALS ARE HUBBELL, WATT STOPPER, SENSOR SWITCH
- ACCEPTABLE EQUALS ARE GENERAL ELECTRIC, ALLEN-BRADLEY, SQUARE D
- PROVIDE ONE B2432, ONE S3825, ONE S3826, ONE SB3084, AND ONE FCX244W
- 10. ACCEPTABLE EQUALS ARE INTERMATIC, PARAGON, EZ-CONTROL
- 11. USE A 4"X4"X1 1/8" FOR POWER, 4 11/16"X4 11/16"X2 1/8" FOR DATA/VOICE, WITH A MUD RING TO MATCH THE DEVICE AND INSTALLATION.
- 12. PROVIDE MUD RING AND/OR BOX COVER APPROPRIATE FOR DEVICE/FIXTURE SERVED.
- 13. USE HEAVY DUTY FOR 480 VOLT. 14. SIZE TO THE EQUIPMENT BEING CONTROLLED
- 15. PROVIDE A FLOOR BOX HUBBELL S1PFB/SISP, TWO HBLSBK, ONE IM2K1BK, AND FIVE IMB1BK W/FLANGE TO MATCH
- 16. PROVIDE A FLOOR BOX HUBBELL S1PFB/SISP WITH ONE IM2K1BK, TWO IMB1BK AND ONE HBL2162BK.
- 17. ACCEPTABLE EQUALS ARE HUBBELL, ORTRONICS, SIEMON
- 18. MATCH THE VOLTAGE OF THE RELAY WITH THAT OF THE CONTROLLING CIRCUIT.
- 19. MOUNT SWITCH AT DOOR JAM PER MANUFACTURERS INSTRUCTIONS.
- 20. FEED THE STYLE LINE RECEP. FROM THE GFCI OUTLET SO BOTH ARE GFCI PROTECTED.
- 21. PROVIDE HANDY BOX (RACO 663 OR EQUAL) MOUNT DIRECTLY TO FURNACE FUSE 15 AMP OR AS INDICATED ON PLANS. 22. IF EXHAUST FAN, SWITCH WITH LIGHTS UNLESS INDICATED OTHERWISE.
- 23. PROVIDE DEVICE UL LISTED TO BE USED WITH THE FIRE ALARM PANEL/SYSTEM.
- 24. PROVIDE HUBBELL: ONE OUTLET FRAME ISF20W, ONE COVERPLATE NP26W.
- 25. PROVIDE ONE BR20W
- 26. PROVIDE HUBBELL: TWO JACKS HXJ60W
- 27. PROVIDE A FLOOR BOX HUBBELL S2431 WITH (1) SB3083.
- 28. PROVIDE TIMER INTERVAL AS SHOWN ON DRAWINGS OR LISTED IN SPECIFICATIONS.
- 29. PROVIDE RACEWAY WITH OUTLETS 12" ON CENTER. UNO.
- 30. INSTALL UNIT ABOVE ACCESSIBLE CEILING AND CONNECT TO ALL ASSOCIATED DEVICES WITH NETWORK CABLE AS LISTED BY THE MANUFACTURER.
- PROVIDE 3/4" CONDUIT FROM J-BOX TO ABOVE ACCESSIBLE CEILING UNO.
- 32. # CONTROL SYSTEM GROUP ALL COMPONENTS IN SAME GROUP CONNECT TOGETHER

#### GENERAL NOTES

- 1. THE ELECTRICAL SYSTEMS DEFINED BY THESE PLANS AND SPECIFICATIONS ARE TO BE CONSTRUCTED AS COMPLETE AND OPERABLE SYSTEMS AND SHALL BE BID WITH THIS INTENT. THE CONTRACTOR SHALL VISIT THE SITE, READ ALL THE RELEVANT DOCUMENTS AND BECOME FAMILIAR WITH THE TYPE OF CONSTRUCTION AND WORK TO BE ACCOMPLISHED. SHOULD ANY ERROR, OMISSION OR CONFLICT EXIST IN EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING BEFORE SUBMITTING HIS BID PRICE SO A CHANGE CAN BE ISSUED IN A PRE-BID ADDENDUM. OTHERWISE, THE CONTRACTOR AND/OR EQUIPMENT SUPPLIER SHALL SUPPLY THE PROPER MATERIALS AND LABOR TO INSTALL COMPLETE AND OPERABLE SYSTEMS AT THEIR OWN EXPENSE. WHEN EACH ELECTRICAL SYSTEM IS COMPLETE, THE CONTRACTOR SHALL TEST AND CONFIRM IT'S PROPER OPERATION. ANY INCOMPLETE SYSTEM SHALL BE MADE COMPLETE AND OPERABLE.
- 2. NO EXTRA COST SHALL BE ALLOWED FOR FAILURE TO COORDINATE THE CONTRACT DOCUMENTS WITH OTHER TRADES AND/OR IF EQUIPMENT DIMENSIONS ARE GREATER THAN SPECIFIED AND/OR DIMENSIONED ON THE PLANS.
- 3. NO ADDITIONS TO THE CONTRACTOR BID WILL BE ALLOWED FOR CHANGES MADE NECESSARY BY INTERFERENCE WITH OTHER WORK.
- 4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE EQUIPMENT, MATERIALS AND LABOR FOR THE CONNECTIONS OF ALL EQUIPMENT SHOWN ON THE PLANS.
- 5. THIS PROJECT IS TO BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL AND STATE CODES AND THE NEC. IF AT ANY TIME DURING CONSTRUCTION, OR AFTER, SOMETHING IS FOUND TO BE INSTALLED IN VIOLATION OF THE CODES LISTED ABOVE, IT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- 6. THE EC SHALL INSTALL A SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN EACH CONDUIT RUN. CONDUIT SHALL NOT BE USED AS AN EQUIPMENT GROUNDING CONDUCTOR. THE EC SHALL GROUND THE ELECTRICAL SYSTEM IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.
- 7. BEFORE ANY ELECTRICAL CONDUIT, BOXES, ETC. ARE COVERED THEY SHALL BE APPROVED BY THE INSPECTING OFFICER (INSPECTOR). THE UNCOVERING AND REPLACEMENT OF ELECTRICAL WORK FOR THE INSPECTION PURPOSES WILL BE AT THE COST OF THE ELECTRICAL CONTRACTOR.
- 8. UNDERGROUND CONDUIT FOR SITE LIGHTING SHALL BE BURIED 24" B.F.G. AND SHALL BE INSTALLED IN THE EASEMENT RIGHT-OF-WAYS.
- 9. ALL COSTS FROM THE USE OF THE EXISTING EQUIPMENT SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID, I.E. CHANGE IN BREAKER SIZE, ETC.

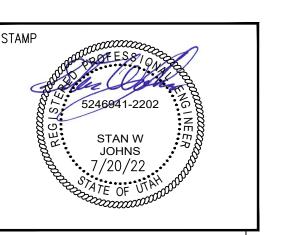


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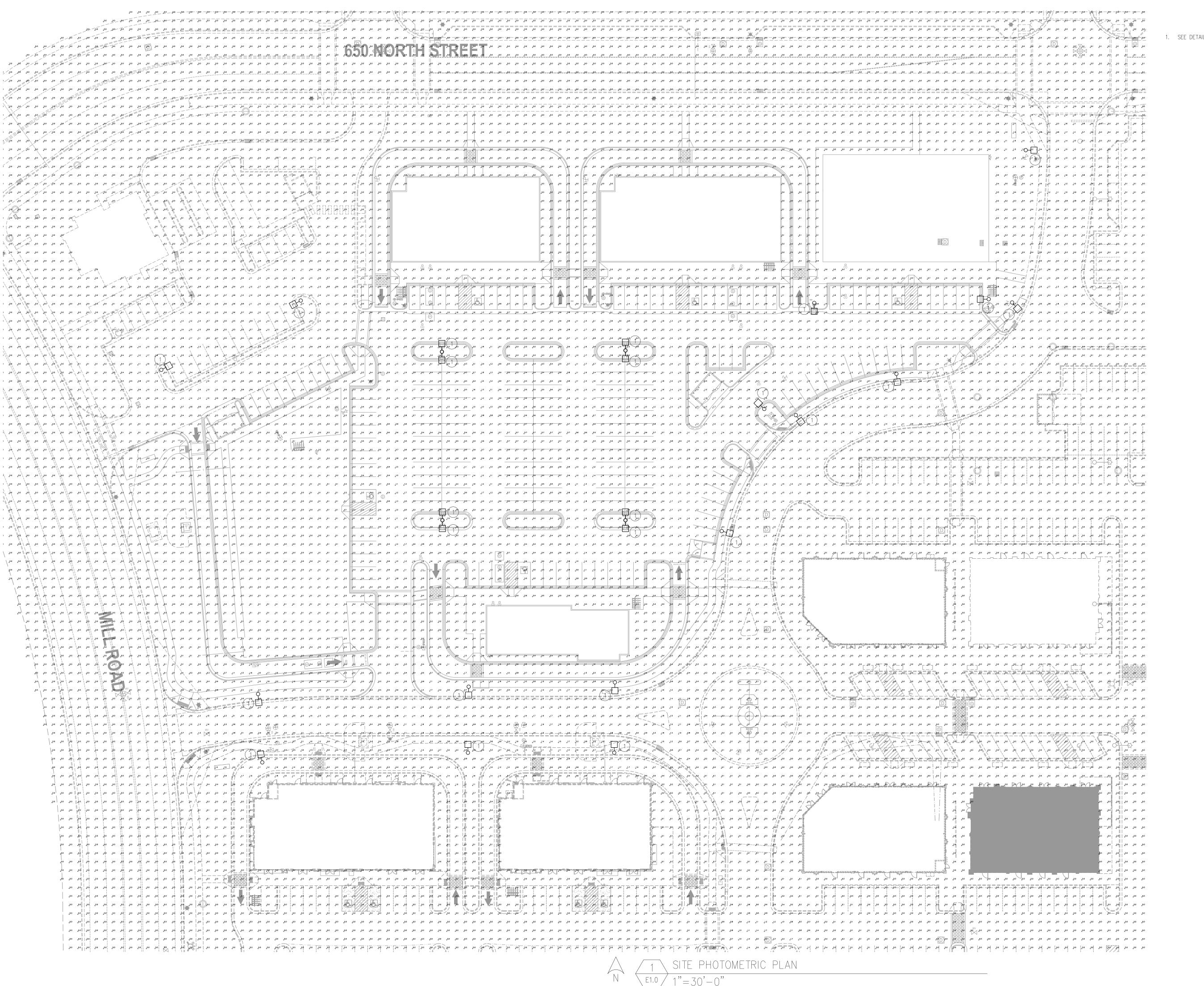
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NOTE AND SCHEDULES I COMMERCIAL MILL ROAD UTAH TITLE ELECTRICAL

REVISIONS NO. DESCRIPTION

ISSUE DATE: 7/20/22 ISSUE TYPE: CONSTRUCTION DRAWN BY: JLC CHECKED BY: SWJ



# KEYED NOTES

1. SEE DETAIL 2/E1.2 FOR FIXTURE INFORMATION.

Statistics

Description Symbol Avg Max Min Max/Min Avg/Min Calc Zone #1 + 0.4 fc 4.7 fc 0.0 fc N/A N/A

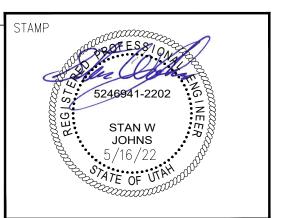


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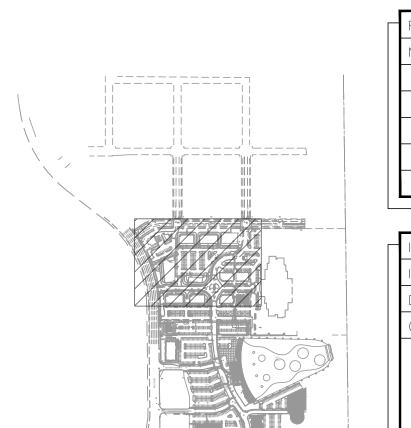
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COMMERCIAL YARD A
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TOMETRIC PLAN



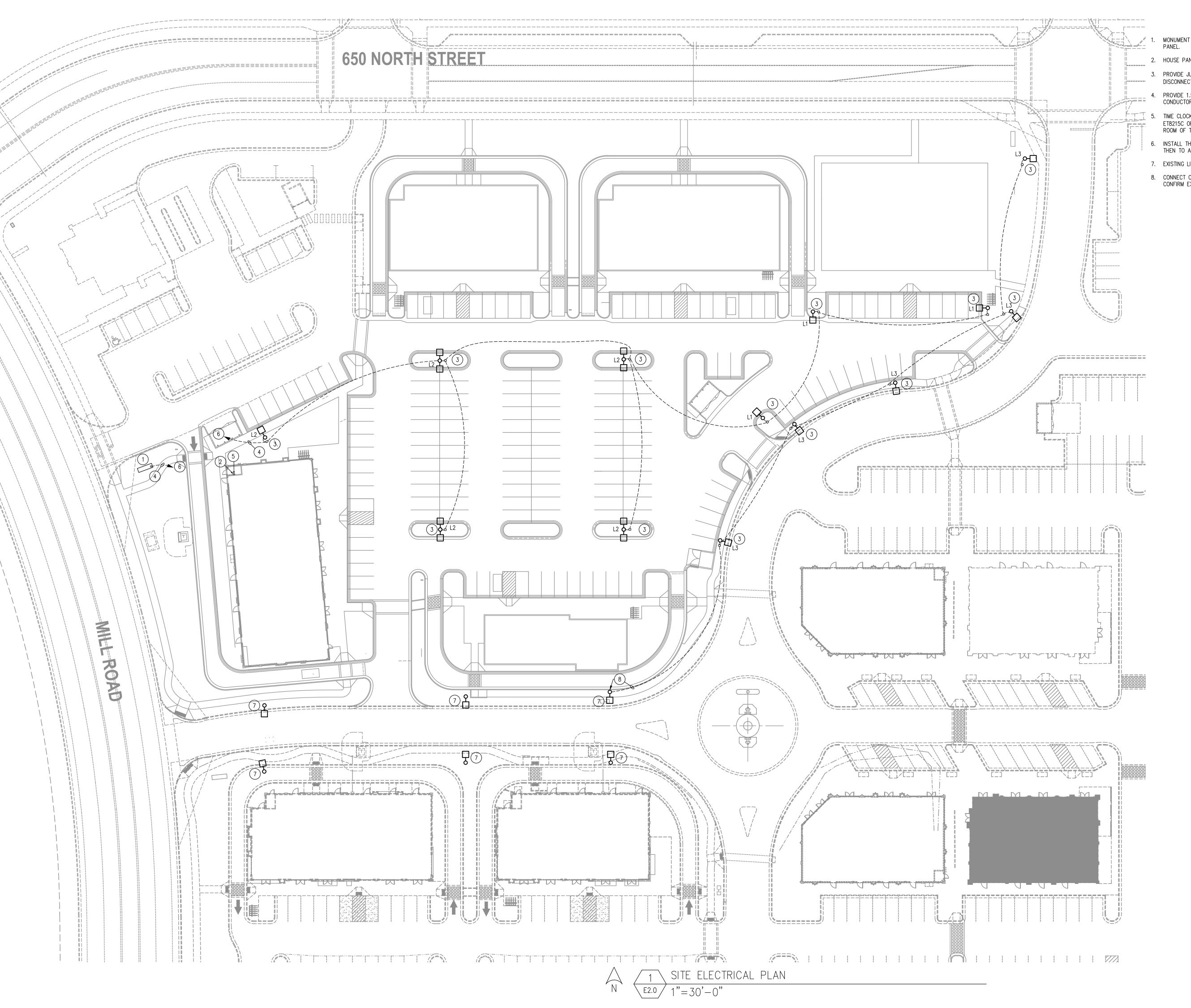
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ISSUE TYPE: PERMIT
DRAWN BY: JLC
CHECKED BY: SWJ

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O. | DESCRIPTION

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E1.0



KEYED NOTES

- 1. MONUMENT SIGN BY OTHERS. PROVIDE 20A, 120V CIRCUIT FROM HOUSE PANEL.
- 2. HOUSE PANEL LOCATED IN UTILITY ROOM OF BUILDING PROVIDED BY OTHERS.
- 3. PROVIDE JUNCTION BOX WITH CONNECTIONS TO OTHER JUNCTION BOX(ES) WITH DISCONNECT AND CONNECTION TO LIGHT POLE. SEE DETAIL 2/E3.0.
- 4. PROVIDE 1.5" SCHEDULE 40 PVC CONDUIT WITH TWO #6+1#6GND COPPER CONDUCTORS. FOR EACH CIRCUIT. TYPICAL.
- 5. TIME CLOCK. PROVIDE A TWO CIRCUIT ASTRONOMIC TIME CLOCK (INTERMATIC ET8215C OR EQUAL) TO CONTROL BOTH LIGHTING CIRCUITS. INSTALL IN THE ROOM OF THE BUILDING.
  - 6. INSTALL THIS CIRCUIT THROUGH ONE OF THE TIME CLOCK CONTACTS AND THEN TO A 20A BREAKER IN THE HOUSE PANEL NEXT TO TIME CLOCK.
  - 7. EXISTING LIGHT TO REMAIN.
  - 8. CONNECT CIRCUIT TO THE EXISTING CIRCUIT IN THIS POLE BASE. FIELD CONFIRM EXISTING CONDITIONS.

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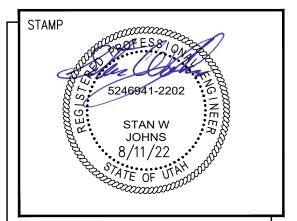
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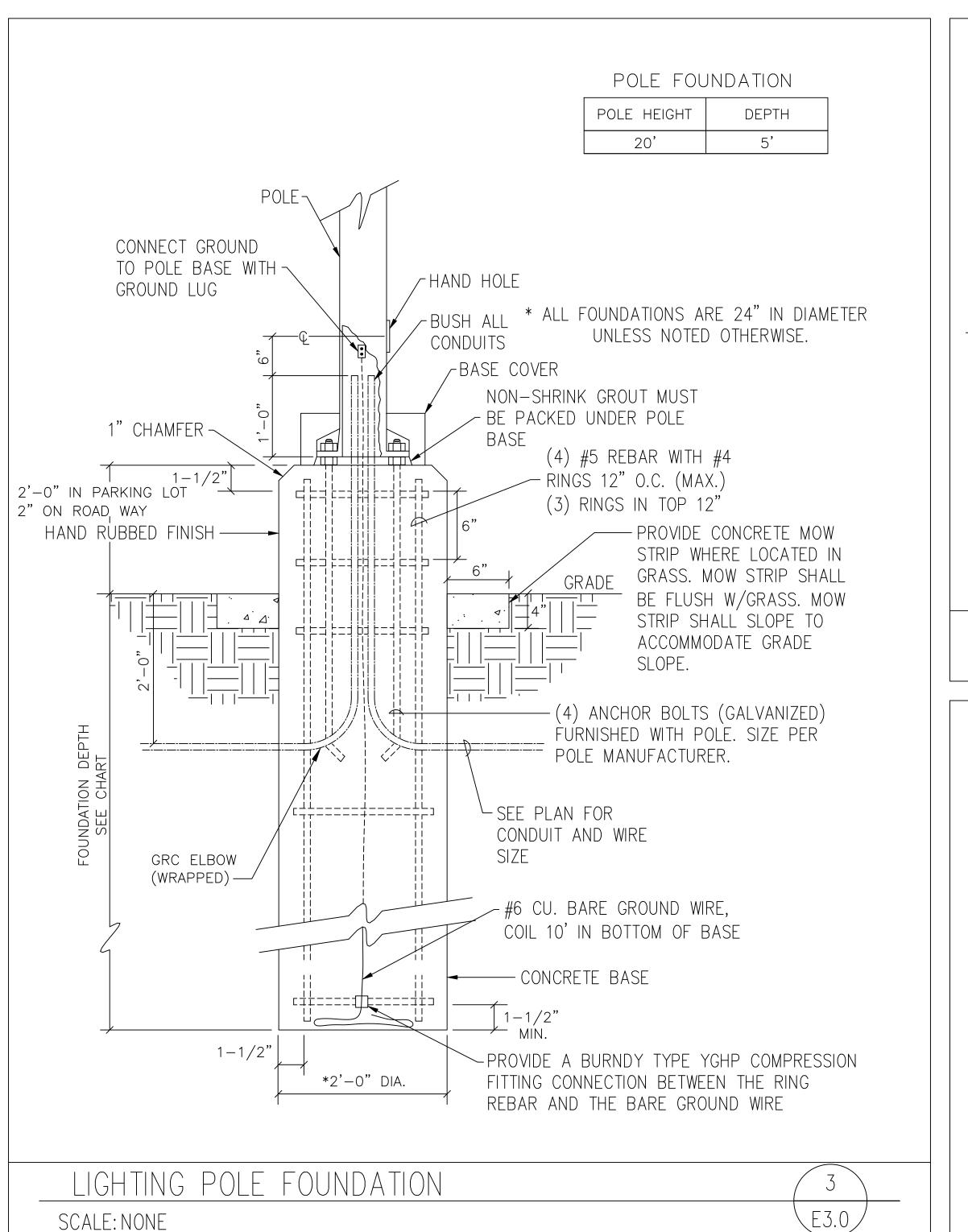
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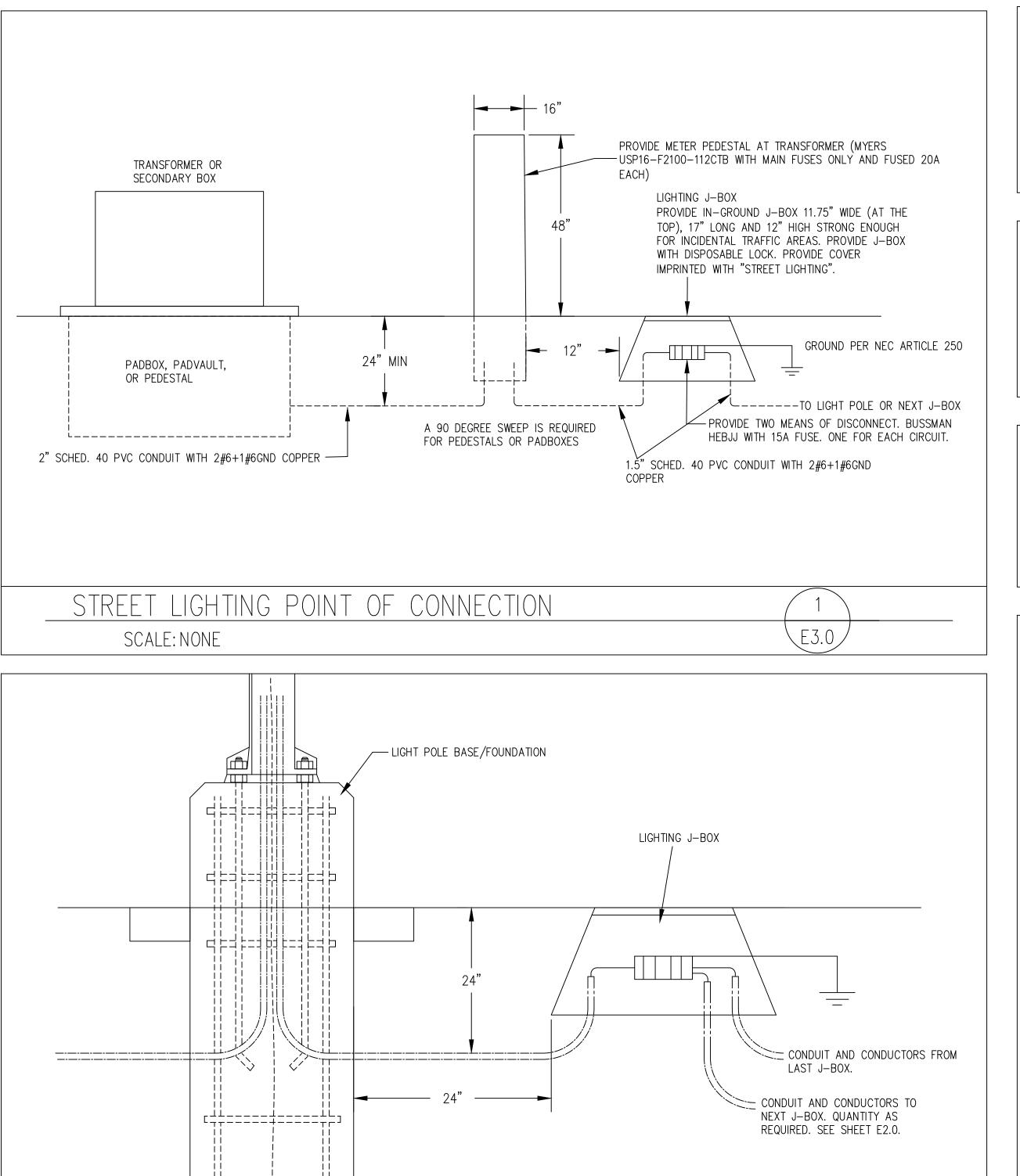
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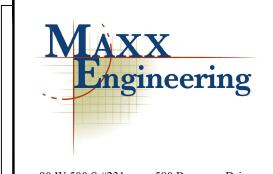
E2.0





STREET LIGHTING POINT OF CONNECTION

SCALE: NONE

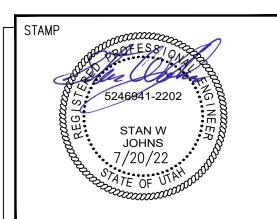


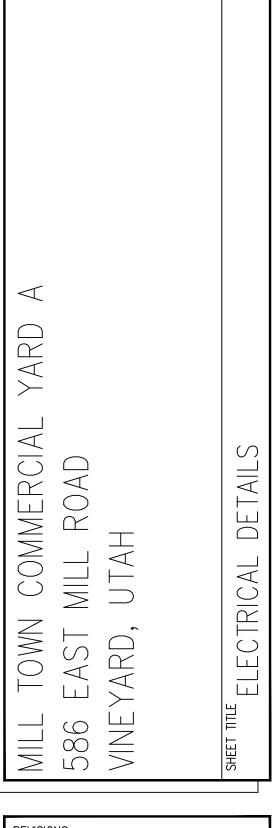
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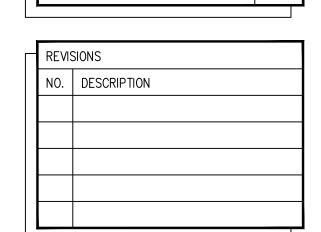
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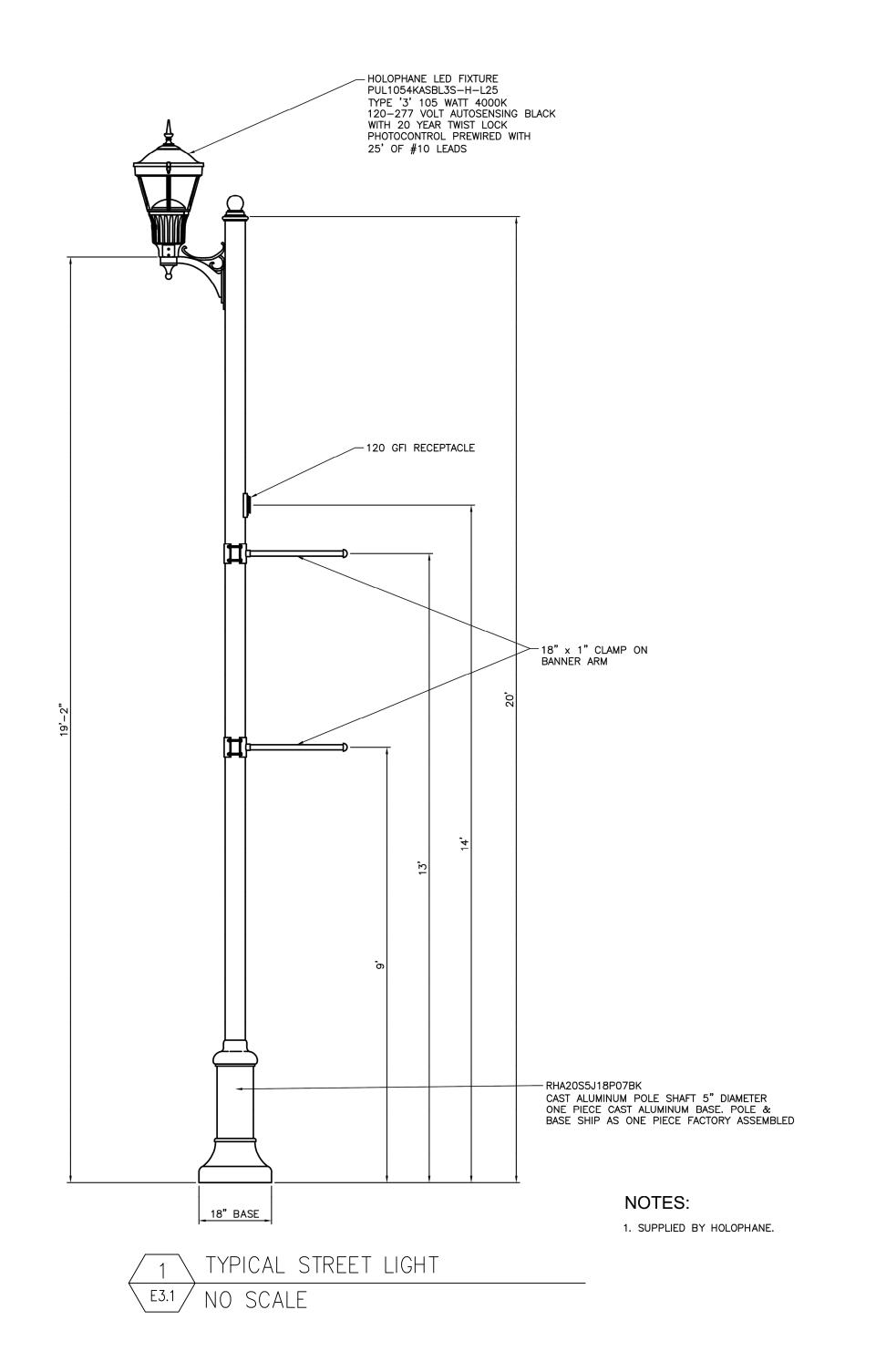
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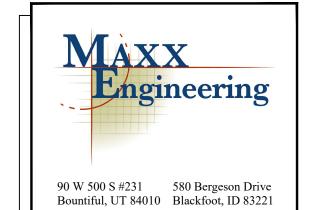






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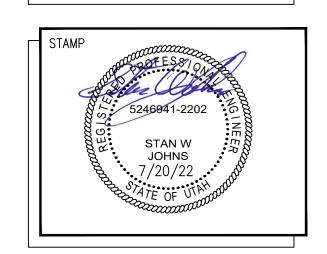


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586 EAST MILL ROAD
VINEYARD, UTAH
SHET THE ELECTRICAL DETAILS

REVIS	SIONS	
NO.	DESCRIPTION	

ISSUE DATE: 7/20/22
ISSUE TYPE: CONSTRUCTION

DRAWN BY: JLC

CHECKED BY: SWJ

N. FUSES 1. FUSES SHALL BE CURRENT LIMITING TO FIT THE DISCONNECTS SHOWN ON THE DRAWINGS. PART 3 - EXECUTION A. GENERAL 1. ALL MATERIALS SHALL BE INSTALLED IN A PROFESSIONAL MANNER INDICATIVE OF THE TRADE. RACEWAYS PIPE OR HEATER FLUME. CONDUCTORS PHASE A PHASE B PHASE C NEUTRAL GROUND CONNECTORS. NOT SHARE NEUTRALS. JUNCTION AND PULL BOXES GROUNDING USED WITH MC. LUMINAIRE INSTALLATION SEISMIC REQUIREMENTS CUTTING AND PATCHING WIRING DEVICES

208/120

BLACK

WHITE

3. PROVIDE DETAILED DOCUMENTATION OF EACH TEST PERFORMED TO THE SATISFACTION OF THE

WHO CONDUCTED AND WITNESSED EACH TEST.

OWNER'S REPRESENTATIVE, WITH THE NAMES AND THE SIGNATURES OF QUALIFIED INDIVIDUALS

RED

480/277

BROWN

ORANGE

YELLOW

**GREY** 

GREEN

2. ALL PENETRATIONS OF THE WALLS, FLOORS AND ROOF SHALL BE SEALED WITH APPROPRIATE BOOTS, SEALANT OR CAULK FOR THE PARTICULAR SURFACE INVOLVED AND AS REQUIRED TO MAINTAIN A FIRE PROOF SEAL. 1. RACEWAYS SHALL BE INSTALLED CONCEALED UNLESS OTHERWISE INDICATED. EXPOSED RACEWAY RUNS SHALL BE PARALLEL WITH SUPPORTING WALLS, BEAMS, AND CEILINGS AND WITH EACH OTHER AND SHALL NOT BE INSTALLED CLOSER THAN 6 INCHES TO ANY WATER 2. RACEWAY ENDS SHALL BE REAMED AFTER THREADING AND AFTER CUTTING AND BE MADE TO BUTT IN THE CENTER OF THE COUPLING. THE USE OF RUNNING THREADS IS PROHIBITED. 5. RACEWAYS SHALL BE INSTALLED AS A COMPLETE SYSTEM, CONTINUOUS FROM OUTLET TO OUTLET, CABINET, BOX OR FITTINGS, AND SHALL BE MECHANICALLY CONNECTED SO THAT ADEQUATE ELECTRICAL CONTINUITY FROM ONE TO ANOTHER IS OBTAINED. CONDUITS SHALL BE SUPPORTED WITH ONE OR TWO HOLE STAMPED STEEL OR MALLEABLE IRON STRAPS (SUCH AS MANUFACTURED BY RACO) DESIGNED FOR SUPPORTING CONDUIT. THE SIZE OF STRAP SHALL MATCH THE SIZE OF THE CONDUIT. NAILS, PERFORATED STRAP, OR PLUMBERS TAPE SHALL NOT BE USED FOR SUPPORT OF RACEWAY. 4. PROVIDE 1/8" POLY PULL CORD IN RACEWAYS WITHOUT CONDUCTORS. 5. FOUR 90 DEGREE BENDS MAXIMUM BETWEEN TERMINATIONS OR BOXES. 1. ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT AND COLOR CODED AS FOLLOWS: 120/240 BLACK RED WHITE 2. MAKE JOINTS, SPLICES, TAPS AND CONNECTIONS IN CONDUCTORS WITH SOLDERLESS 3. ALL CIRCUITS THAT REQUIRE A NEUTRAL SHALL BE PROVIDED WITH A DEDICATED NEUTRAL. DO 1. PULL BOXES SHALL BE PROVIDED WHERE INDICATED AND WHERE NECESSARY TO FACILITATE THE PULLING OF CONDUCTORS. I. INSTALL A CODE SIZED GROUNDING CONDUCTOR IN ALL RACEWAYS AND CABLES. DO NOT USE THE RACEWAY FOR GROUNDING. MAKE GOOD CONTACT AT ALL PANEL BOARDS, OUTLET BOXES, AND JUNCTION OR PULL BOXES TO THE RACEWAY SYSTEM. USE APPROVED BONDING 2. PROVIDE A CODE SIZED UFER GROUND AT THE MAIN SERVICE ON ALL NEW BUILDINGS.. 1. BOND ALL PIPING (GAS WATER, ETC) AS REQUIRED BY THE NEC. CONFIRM SYSTEMS TO BE 1. LOCATE LUMINAIRES AS INDICATED ON THE DRAWINGS. 2. INSTALL ACCESSORIES FURNISHED WITH AND REQUIRED FOR EACH LUMINAIRE. 1. RECESSED TYPE LIGHTING FIXTURES, IN ADDITION TO THE STANDARD SEISMIC CLIPS AND SUPPORT ON T-BAR GRID SYSTEM, SHALL HAVE 2#12 STEEL SAFETY WIRES PER FIXTURE. ONE END OF EACH SAFETY WIRE SHALL BE SECURELY FASTENED TO THE BUILDING STRUCTURE. THE OTHER END (6 INCHES LONGER THAN THE T-BAR GRID SUPPORT WIRES) SHALL BE FASTENED TO DIAGONAL CORNERS OF EACH LIGHTING FIXTURE. 1. PERFORM DRILLING, CUTTING, AND PATCHING OF THE GENERAL CONSTRUCTION WORK WHETHER EXISTING OR NEW, AS REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK. PATCH WITH THE SAME MATERIALS, WORKMANSHIP, AND FINISH AS THE ORIGINAL WORK AND ACCURATELY MATCH ALL SURROUNDING WORK. SUCH WORK WILL BE DONE BY A CRAFTSMAN ACCREDITED IN THE APPLICABLE TRADE UNDER THE CONTRACTOR'S SUPERVISION AND BE ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. COORDINATE WITH OTHER TRADES AND GENERAL CONTRACTOR PRIOR TO CUTTING, DRILLING, OR CORING. 1. MOUNTING HEIGHTS TO THE CENTER OF THE DEVICE AND ORIENTATION SHALL BE AS FOLLOWS: LIGHT SWITCHES —————————————————————48" AFF CONVENIENCE & TELEPHONE OUTLETS ABOVE COUNTER -----44" AFF DATA, TELEPHONE, TV AND ALL PANELS ARE TO BE MOUNTED/ INSTALLED AT AN ACCESSIBLE HEIGHT FOR BOTH TYPE A AND TYPE B UNITS ———————————————48" AFF ALL MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL SWITCHES AND THERMOSTATS TO BE MOUNTED AS CLOSE TO DOOR JAMB AS POSSIBLE. COORDINATE ALL DEVICES WITH ARCHITECTURAL PLANS AND DETAILS. RECEPTACLES SHALL BE ORIENTED WITH THE GROUND TERMINAL UP WHEN INSTALLED VERTICAL AND WITH THE NEUTRAL TERMINAL(S) UP WHEN INSTALLED HORIZONTAL. TESTING 1. DEMONSTRATE THAT ALL COMPONENTS OF THE WORK OF THIS DIVISION HAVE BEEN PROVIDED AND THAT THEY OPERATE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. 2. TEST WIRING AND CONNECTORS FOR CONTINUITY, SHORT CIRCUITS AND IMPROPER GROUNDS. TEST EACH LIGHTING AND APPLIANCE PANEL WITH MAINS DISCONNECTED FROM FEEDERS, BRANCHES CONNECTED, WALL SWITCHES CLOSED AND FIXTURES PERMANENTLY CONNECTED AND COMPLETE WITH LAMPS. TEST EACH INDIVIDUAL POWER CIRCUIT WITH THE POWER EQUIPMENT CONNECTED FOR PROPER OPERATION.

6. OUTDOOR AND WET OR DAMP LOCATIONS: PROVIDE CAST METAL OR PVC OUTLET, JUNCTION, AND PULL BOXES. CONDUCTORS

1. SOFT DRAWN, ANNEALED COPPER IN RACEWAY OR CABLE SIZED AS SHOWN ON THE PLANS. MINIMUM #12 AWG UNLESS NOTED OTHERWISE. #8 AWG AND LARGER SHALL BE STRANDED.

2. ALUMINUM CONDUCTORS IN RACEWAY OR CABLE MAY BE USED FOR CONDUCTORS SIZED #8 OR LARGER WHERE THE CONNECTORS USED ARE LISTED FOR USE WITH THE ALUMINUM

3. CONDUCTORS SHALL XHHW-2, THHN OR THWN-2 COLOR CODED IN ACCORDANCE WITH PART 3, SECTION C. 1. OF THESE SPECIFICATIONS OR AS INDICATED ON THE DRAWINGS.

4. CONDUCTORS SHALL BE USED AS LISTED BY THE NEC.

WIRING CONNECTIONS

1. MAKE ALL ELECTRICAL CONNECTIONS.

2. MAKE CONNECTION TO DEVICES USING "PIG-TAILS". DO NOT USE A DEVICE AS A CONNECTION OR A SPLICE UNIT.

3. DO NOT PLACE STRANDED CONDUCTORS DIRECTLY UNDER SCREWS. INSTALL CRIMP-ON, INSULATED, FORK TERMINALS FOR CONDUCTOR TERMINATIONS, OR INSTALL SOLID CONDUCTORS. . NAMEPLATES

1. PROVIDE EACH PANEL BOARD AND DISCONNECT SWITCH WITH A MICARTA PLASTIC NAMEPLATE MADE OF WHITE-FACED BLACKCORE PLASTIC LAMINATE WITH 1/4" HIGH LETTERING. NAMEPLATE SHALL INCLUDE DESIGNATION, DRAWING, PHASE, VOLTAGE, AND PANEL IT IS FED DETAIL ON DRAWINGS.

I. SECTION NOT USED.

WIRING DEVICES

1. PLATES - COLOR OF PLATE SHALL BE WHITE.

2. TELEPHONE AND DATA OUTLETS SHALL BE PROVIDED WITH CONNECTORS AS INDICATED ON THE

3. SWITCHES — SHALL BE AS SHOWN ON THE PLANS OR EQUAL OF P&S, LEVITON OR COOPER 20 AMP, SILENT TYPE. COLOR SHALL BE WHITE.

4. RECEPTACLES - SHALL BE AS SHOWN ON PLANS OR EQUAL OF P&S, LEVITON OR COOPER 20AMP. COLOR SHALL BE WHITE.

5. SPECIAL PURPOSE OUTLETS SHALL BE AS INDICATED ON THE DRAWINGS.

PANEL BOARDS

1. PROVIDE PEDESTAL AS SHOWN ON THE DRAWINGS. . INTERIOR AND EXTERIOR LUMINAIRES

1. PROVIDE LIGHTING SYSTEM COMPLETE WITH LAMPS AND ACCESSORIES, AS INDICATED IN THE

CONTRACT DOCUMENTS. LUMINAIRES

a) PROVIDE COMPLETE LUMINAIRE ASSEMBLIES OF TYPE INDICATED ON THE DRAWINGS WITH FEATURES, OPTIONS AND ACCESSORIES AS SCHEDULED AND AS NEEDED FOR A COMPLETE ASSEMBLY AND INSTALLATION.

3. LIGHTING CONTROLS

a) PROVIDE LIGHTING CONTROLS AS INDICATED ON THE DRAWINGS WITH EQUALS OF WATTSTOPPER AND NLIGHT.

b) ALL SENSORS SHALL BE PROGRAMMED AS OCCUPANCY SENSORS WITH A 10 MINUTE DELAY

c) LOCATE CEILING OCCUPANCY SENSORS IN A LOCATION THAT SEES THE ROOM BUT DOES NOT SEE PEOPLE WALKING PAST THE OPEN DOOR. SECTION NOT USED.

M. SAFETY DISCONNECTS

1. THE ELEECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL DISCONNECTS AS INDICATED ON THE DRAWINGS OR AS REQUIRED.

#### ELECTRICAL SPECIFICATIONS

PART 1 - GENERAL A. DESCRIPTION

> 1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION AS REQUIRED TO PROPERLY INSTALL A COMPLETE AND OPERABLE ELECTRICAL SYSTEM AS DEFINED BY THESE DRAWINGS AND APPLICABLE CODES.

B. RULES AND REGULATIONS

1. ALL WORK AND MATERIALS SHALL BE INSTALLED AS SHOWN AND HEREIN SPECIFIED. THE LATEST EDITIONS OF THE FOLLOWING SPECIFICATIONS, STANDARDS, AND AMENDMENTS, AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION, SHALL FORM A PART OF THIS SPECIFICATION THE SAME AS IF HEREIN WRITTEN OUT IN FULL (ALL MATERIALS AND INSTALLATIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS THEREOF):

a) NFPA (NATIONAL FIRE PROTECTION ASSOCIATION), PUBLICATION NUMBER 70, "NATIONAL, ELECTRICAL CODE"; PUB. NO. 72E, "AUTOMATIC FIRE DETECTORS".

b) UL (UNDERWRITERS LABORATORIES, INC.). c) NEMA (NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION).

d) UBC (UNIFORM BUILDING CODE) AND STANDARD BUILDING CODE.

e) IBC (INTERNATIONAL BUILDING CODE)

WORKMANSHIP AND MATERIALS

f) IFC (INTERNATIONAL FIRE CODE) a) IECC (INTERNATIONAL ENERGY CONSERVATION CODE)

h) IEC (INTERNATIONAL ELECTRICAL CODE)

) STATE AND LOCAL BUILDING AUTHORITY AND CODES 3. NO REQUIREMENT TO THESE DRAWINGS AND SPECIFICATIONS SHALL BE CONSTRUCTED TO VOID ANY OF THE PROVISIONS OF THE ABOVE SPECIFICATIONS AND STANDARDS.

FROM. FASTEN WITH SCREWS OR RIVETS. NO OTHER ATTACHMENT METHOD IS ALLOWED. SEE | C. PERMITS AND INSPECTIONS UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL APPLY, PAY FOR AND SCHEDULE ALL APPLICABLE PERMITS, FEES AND INSPECTIONS REQUIRED BY ANY AND ALL PUBLIC AUTHORITIES HAVING JURISDICTION AND REQUIRING INSPECTION AND THE OWNER.

> 1. WORKMANSHIP SHALL BE OF THE BEST QUALITY AND NONE BUT COMPETENT PERSONNEL SKILLED IN THEIR TRADE SHALL BE EMPLOYED. THE CONTRACTOR SHALL FURNISH THE SERVICES OF AN EXPERIENCED SUPERINTENDENT, WHO WILL BE IN CHARGE OF THE EXECUTION OF WORK, UNTIL COMPLETED AND ACCEPTED.

2. UNLESS OTHERWISE HEREIN AFTER SPECIFIED, ALL MATERIALS AND EQUIPMENT UNDER THIS DIVISION OF THE SPECIFICATIONS SHALL BE NEW, OF BEST GRADE AND AS LISTED IN PRINTED CATALOGS OF THE MANUFACTURER. EACH ARTICLE OF IT'S KIND SHALL BE THE STANDARD PRODUCT OF A SINGLE MANUFACTURER.

3. THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO ACCEPT OR REJECT MATERIAL EQUIPMENT AND/OR WORKMANSHIP AND DETERMINE WHEN THEY HAVE COMPLIED WITH THE REQUIREMENTS HEREIN SPECIFIED.

4. ALL MANUFACTURED MATERIALS SHALL BE CLEARLY MARKED OR STAMPED WITH THE MANUFACTURER'S NAME AND RATING.

5. REFERENCE TO STANDARDS ARE INTENDED TO BE THE LATEST REVISION OF THE STANDARD SPECIFIED, OR THAT ACCEPTED BY THE AUTHORITY HAVING JURISDICTION

MANUFACTURER'S RECOMMENDATIONS 1. EQUIPMENT INSTALLED UNDER THIS DIVISION OF THE SPECIFICATIONS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR

HEREIN SPECIFIED. GUARANTEE

ALL MATERIALS AND EQUIPMENT PROVIDED AND INSTALLED UNDER THIS SECTION SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR. SHOULD ANY TROUBLE OR MALFUNCTIONS DEVELOP DURING THIS PERIOD DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP, THE CONTRACTOR WILL BE HELD LIABLE AND SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CORRECT THE TROUBLE OR MALFUNCTION WITHOUT ADDITIONAL COST TO THE OWNER. ALL DEFECTIVE MATERIAL OR INFERIOR WORKMANSHIP NOTICED DURING THE TIME OF INSTALLATION SHALL BE CORRECTED IMMEDIATELY TO THE ENTIRE SATISFACTION OF THE ARCHITECT, ENGINEER AND OWNER, AT NO ADDITIONAL COST.

1. FURNISH: TO SUPPLY AND DELIVER, UNLOAD, INSPECT FOR DAMAGE. 2. INSTALL: TO UNPACK, ASSEMBLE, ERECT, APPLY, PLACE, FINISH, CURE, PROTECT, CLEAN, AND

MAKE READY FOR USE.

PROVIDE: TO FURNISH AND INSTALL.

1. PROVIDE SHOP DRAWINGS AND MANUFACTURER'S LITERATURE OF MATERIALS AND EQUIPMENT AS REQUIRED IN THE GENERAL CONDITIONS, AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND AS LISTED BELOW:

CATALOG CUTS

a) CONDUIT AND FITTINGS 1) RIGID METAL 2) INTERMEDIATE METAL

> 3) ELECTRICAL METALLIC TUBING 4) FLEXIBLE METALLIC

5) LIQUID TIGHT FLEXIBLE METALLIC

6) FITTINGS (EACH TYPE)

ы) WIRE AND CABLE

c) SWITCHES 1) SNAP

2) OCCUPANCY SENSOR

d) RECEPTACLE OUTLETS 1) GENERAL PURPOSE

2) GROUND FAULT CIRCUIT INTERRUPTION e) TRIM AND COVER PLATES (EACH TYPE AND STYLE)

f) PANEL BOARDS

h) SAFETY SWITCHES

LIGHTING FIXTURES

j) NAMEPLATES

PANEL BOARDS

2. LIGHTING FIXTURES

I. SHOP DRAWINGS

THE ABOVE IS A STANDARD SUBMITTAL REQUIREMENT LIST. ELECTRICAL CONTRACTOR SHALL SUBMIT ALL APPLICABLE ITEMS FOR REVIEW. MATERIAL NOT SUBMITTED AND APPROVED BY THE ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTORS COST IF DIRECTED BY THE ARCHITECT, ENGINEER OR THE OWNER'S REPRESENTATIVE.

#### PART 2 - MATERIALS

A. GENERAL

1. MATERIALS AND EQUIPMENT SHALL BE STANDARD CATALOGED PRODUCTS OF MANUFACTURERS REGULARLY ENGAGED IN THE MANUFACTURE OF THE PRODUCT. UL LISTED, AND SHALL BE THE LATEST STANDARD DESIGN THAT CONFORMS TO SPECIFIED MATERIALS AND EQUIPMENT.

B. RACEWAY AND CABLE

1. ELECTRICAL METALLIC TUBING (EMT) OR MC CABLE SHALL BE USED IN INTERIOR DRY LOCATIONS. MC CABLE FOR POWER TO LUMINAIRES. 2. GALVANIZED FLEXIBLE STEEL (FMC) OR LIQUID TIGHT STEEL (LFMC) CONDUIT SHALL BE USED

FOR CONNECTIONS TO MECHANICAL EQUIPMENT AND TRANSFORMERS AND AS INDICATED. LIQUID TIGHT CONDUIT SHALL BE USED IN EXTERIOR AND WET/DAMP LOCATIONS. 3. SCHEDULE 40 PVC (WITH PVC COATED OR VINYL TAPE DOUBLE WRAPPED RIGID STEEL ELBOWS

AND RISES) SHALL BE USED FOR RUNS THAT ARE IN CONTACT WITH THE EARTH. 4. 3/4" CONDUIT SHALL BE THE MINIMUM SIZE CONDUIT.

5. OUTDOOR AND WET OR DAMP LOCATIONS: PROVIDE RIGID STEEL CONDUIT OR LFMC.

6. NM TYPE CABLE AS ALLOWED BY THE NEC. 7. SER TYPE CABLE AS ALLOWED BY THE NEC.

1. ALL FITTINGS SHALL BE STEEL/MALLEABLE IRON WITH INSULATING BUSHINGS.

D. PROVIDE AS SHOWN ON THE DRAWINGS.

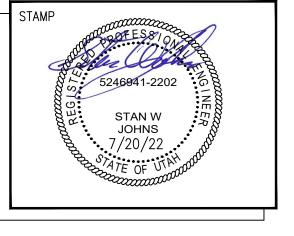


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YARD A			SNOIL
TOWN COMMERCIAL YARD A	EAST MILL ROAD	JTAH	ELECTRICAL SPECIFICATIONS
MILL TOWN	586 EAST N	VINEYARD, UTAH	SHEET TILE ELECTRI
REVISIO	NS		

NO. DESCRIPTION

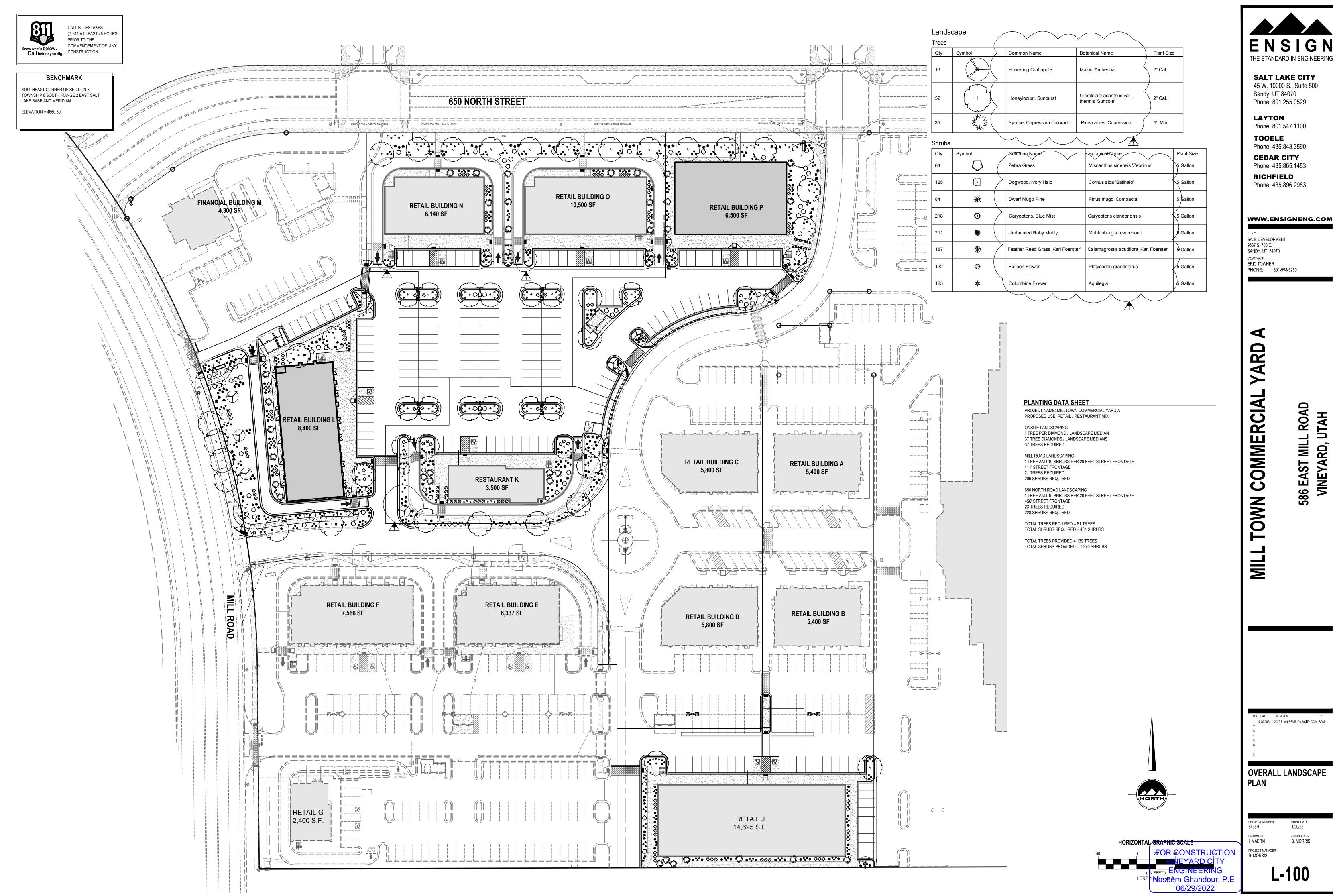
ISSUE DATE: 7/20/22

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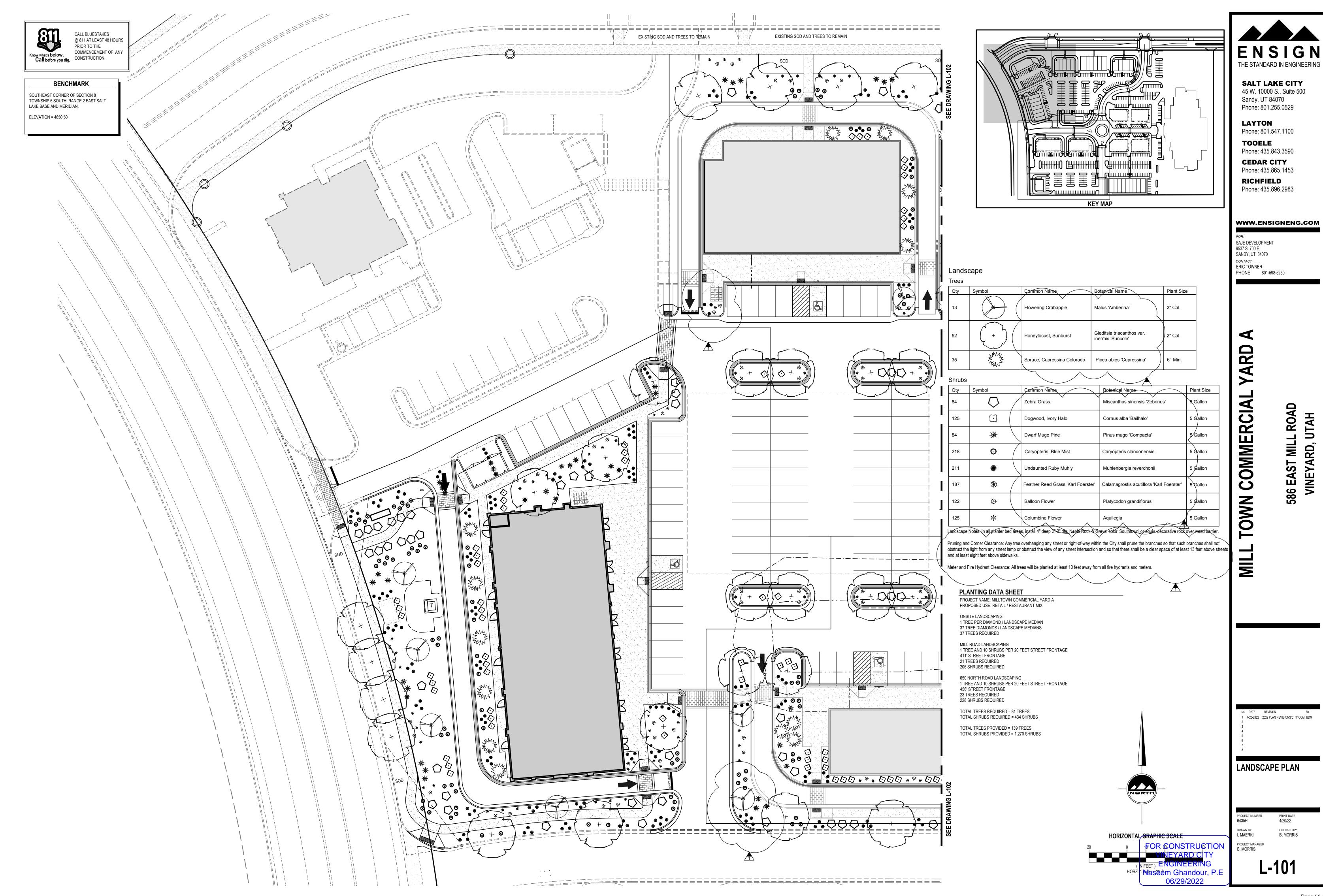
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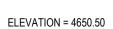
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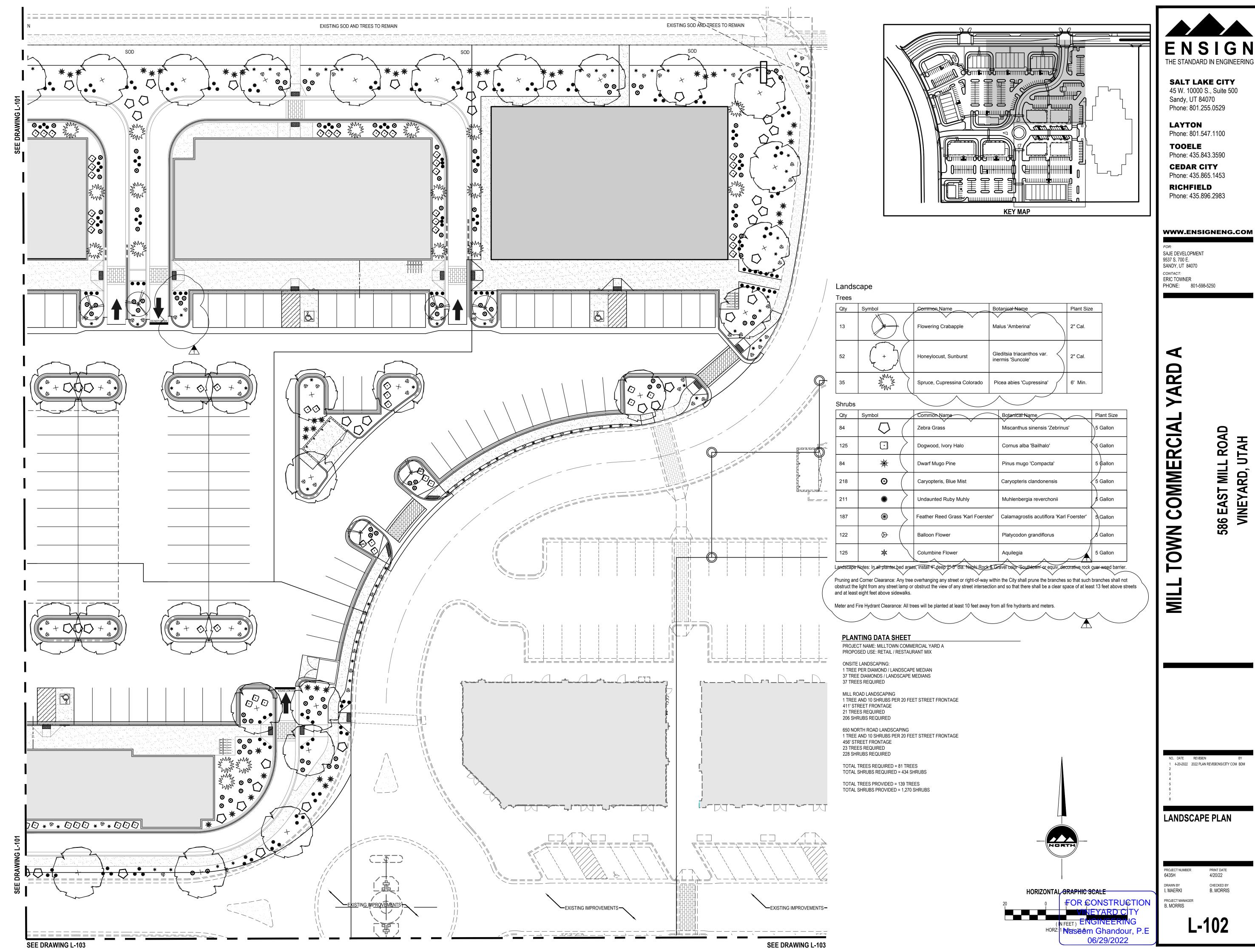




#### BENCHMARK

SOUTHEAST CORNER OF SECTION 8 TOWNSHIP 6 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN.

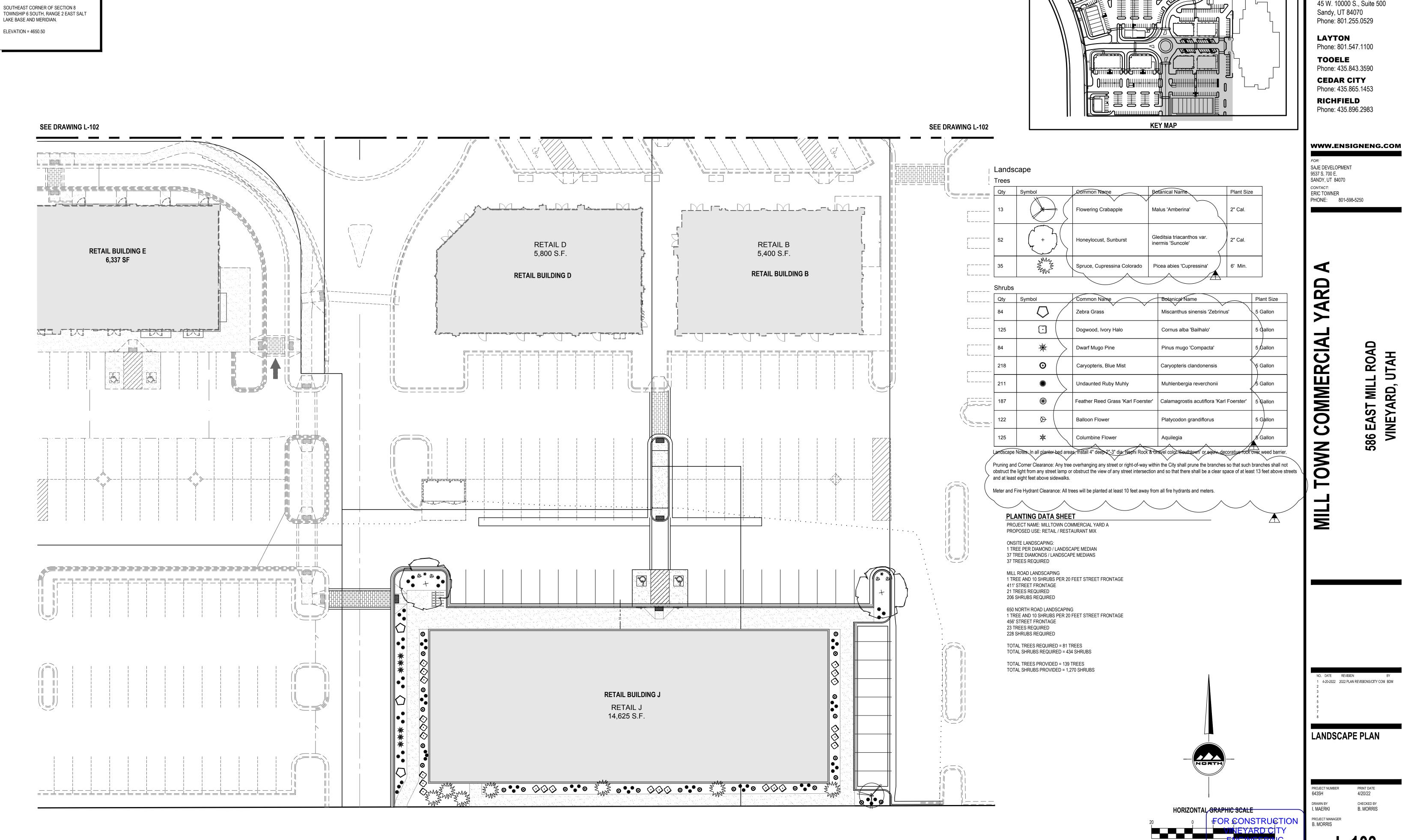






**BENCHMARK** 

SOUTHEAST CORNER OF SECTION 8



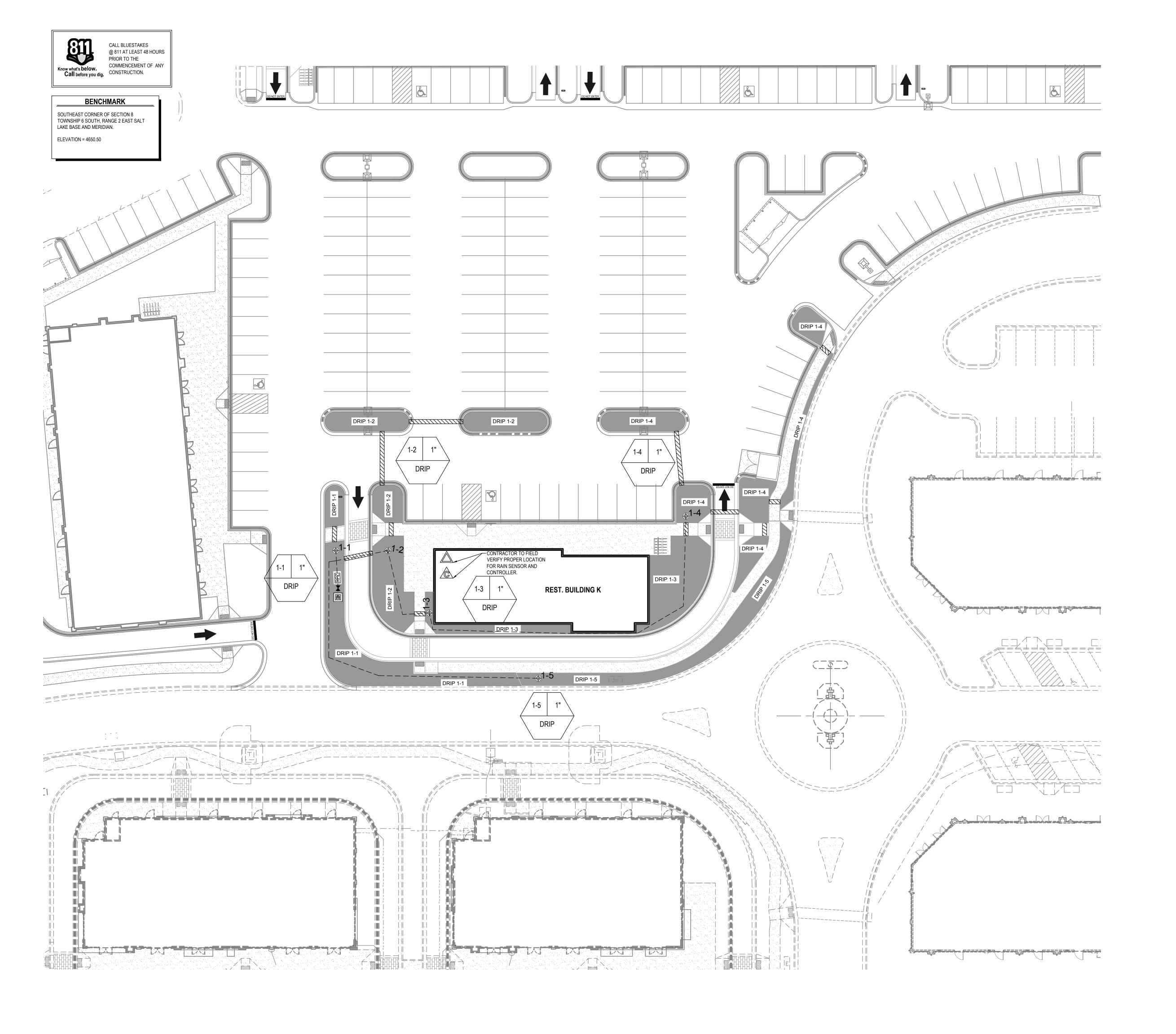
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06/29/2022

ENSIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY



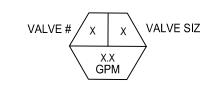
Irrigation

Qty	Symbol	Description
5	<b>⊕</b>	Rain Bird XCZ-100 COM
		Pipe Sleeve - 2x Pipe Diameter
1	M	2 inch meter
		Lateral - Schedule 40 PVC
		Mainline - Schedule 40 3/4"
1		Rain Bird RSD-BEx Rain Sensor
1	<u> </u>	Rain Bird ESP-8LX Plus Controller
1	X	Mueller 3/4" Brass Stop and Waste
1	RPZ	RPZ Backflow Prevention Device
	DRIP AREA	Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters*

\*Install 2 emitters per shrub, 4 emitters per tree

THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNERS'S FACILITY OPERATION DEPARTMENT.



ENSIGN THE STANDARD IN ENGINEERING

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MMERCIAL YARD

TOWN CO

MILL

586 EAST MILL ROAD VINEYARD, UTAH

NO. DATE REVISION BY
1 4-20-2022 2022 PLAN REVISIONS/CITY COM BDM
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IRRIGATION PLAN BUILDING K

PROJECT NUMBER PRINT DATE 6435H 4/20/22

DRAWN BY CHECKED BY I. MAERKI B. MORRIS

HORZ: 1 Naseem Ghandour, P.E

06/29/2022

PROJECT MANAGER
B. MORRIS

L-201

#### **GENERAL LANDSCAPE NOTES:**

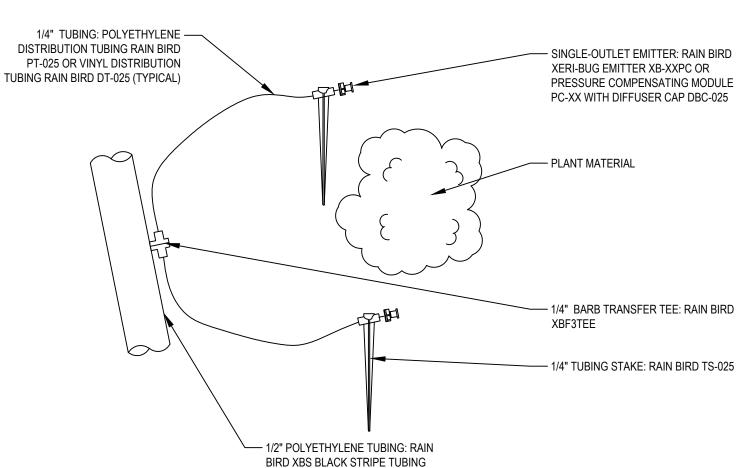
- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- 2. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- 3. NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- 4. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERILIZER.
- 5. MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- 6. LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- 7. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
- 8. CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- 9. PROVIDE THE FOLLOWING TOP SOIL MINIMUMS: A. 4" TOPSOIL IN ALL SOD AREAS
- B. 6" TOP SOIL IN ALL PLANTER BEDS
- 10. WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECCOMMENDATIONS.

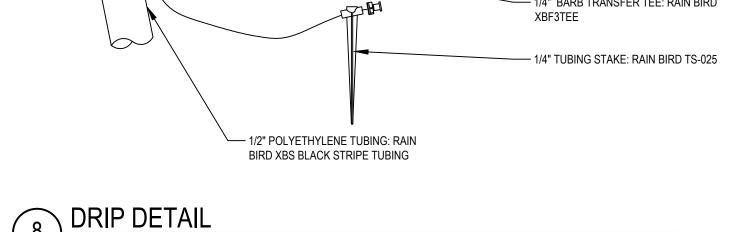
#### **IRRIGATION NOTES:**

- 1. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- 2. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- 3. PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- 4. TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES.
- 5. ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.

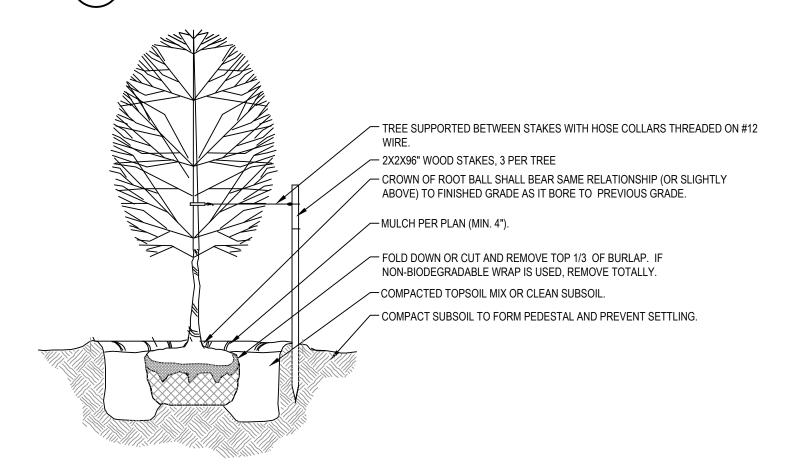
BACKFILL TO BE WATERED IN AND COMPACTED.

- 6. ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- 7. DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPERATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- 8. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES - MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- 10. ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF
- 11. FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- 12. CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- 13. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.

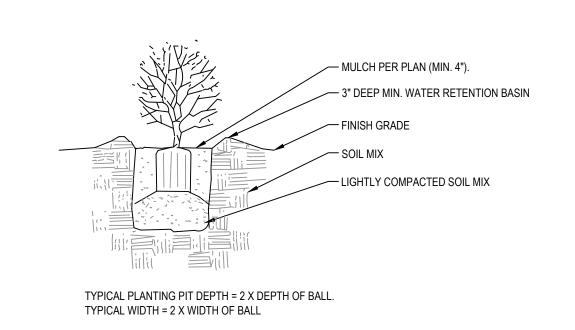


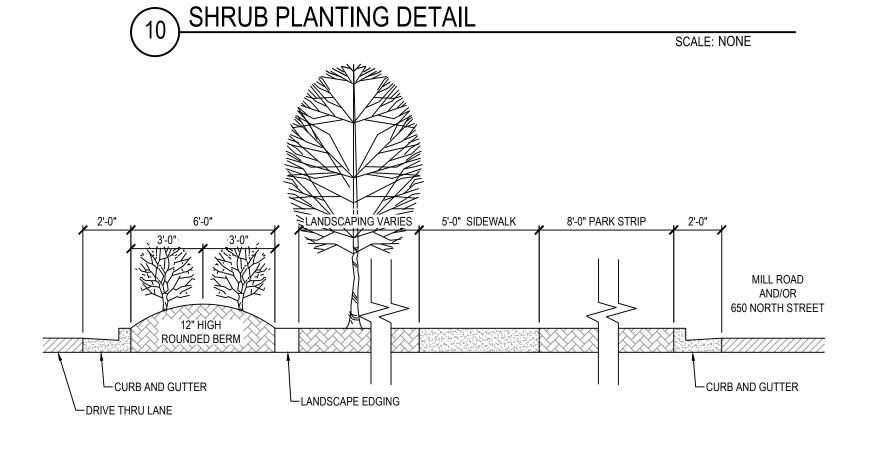


SCALE: NONE

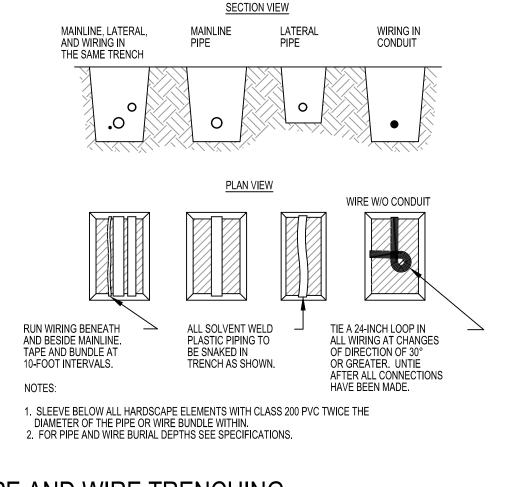


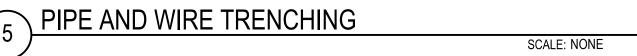


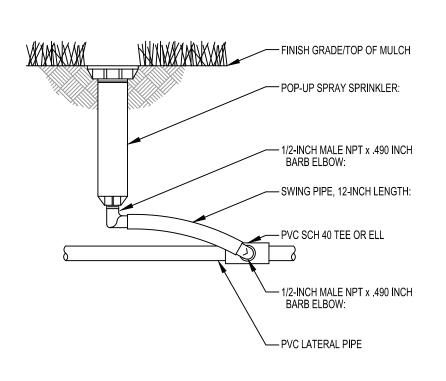




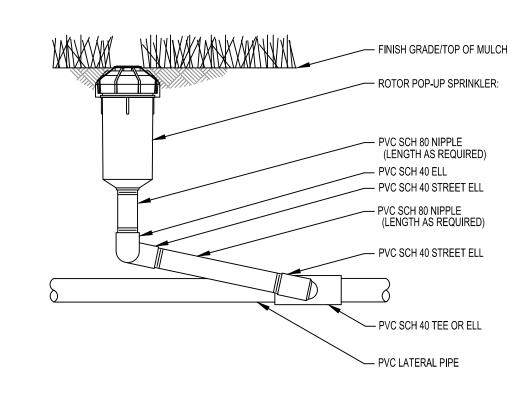




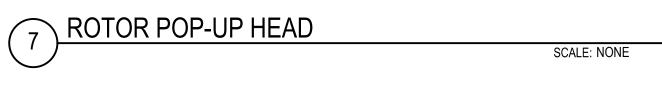


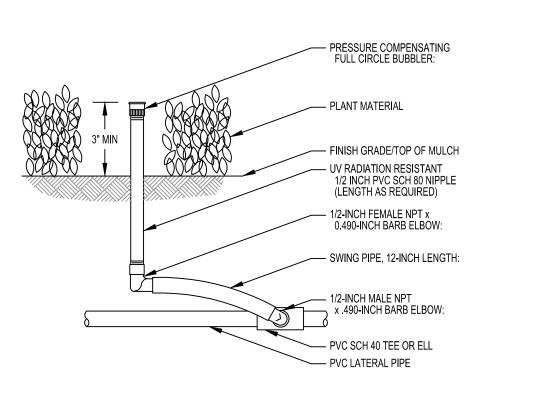






1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.

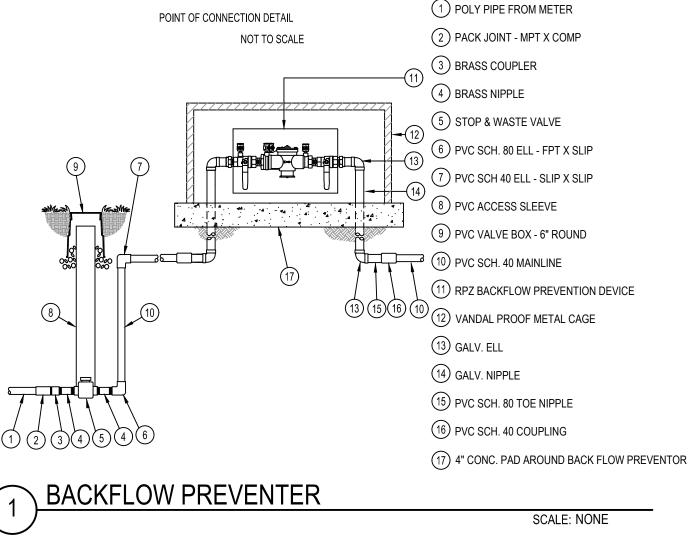


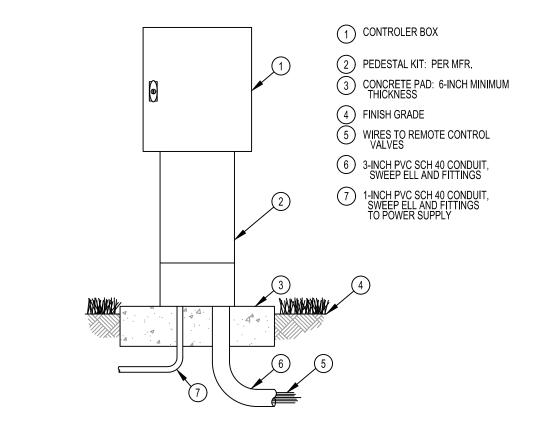


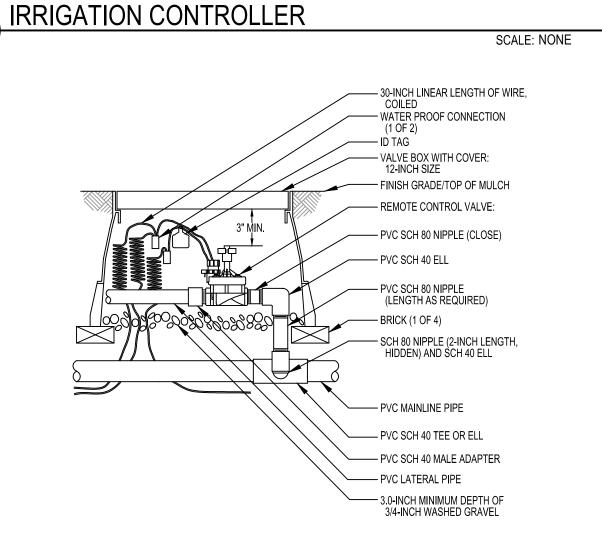
SCALE: NONE

BUBBLER DETAIL

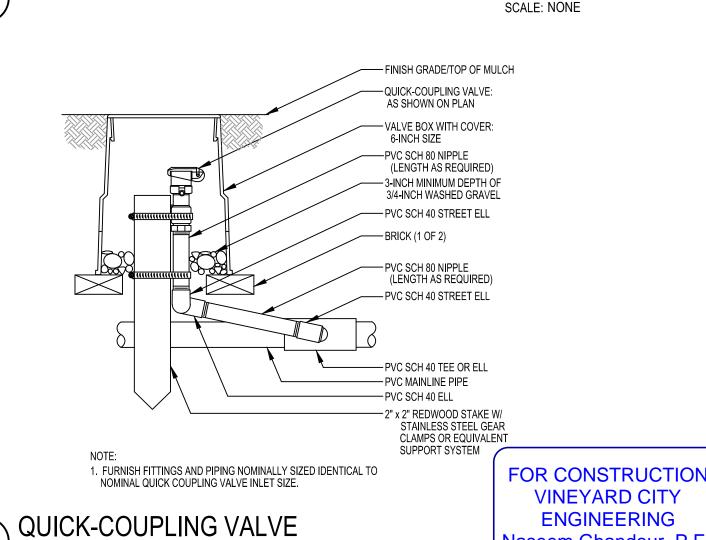
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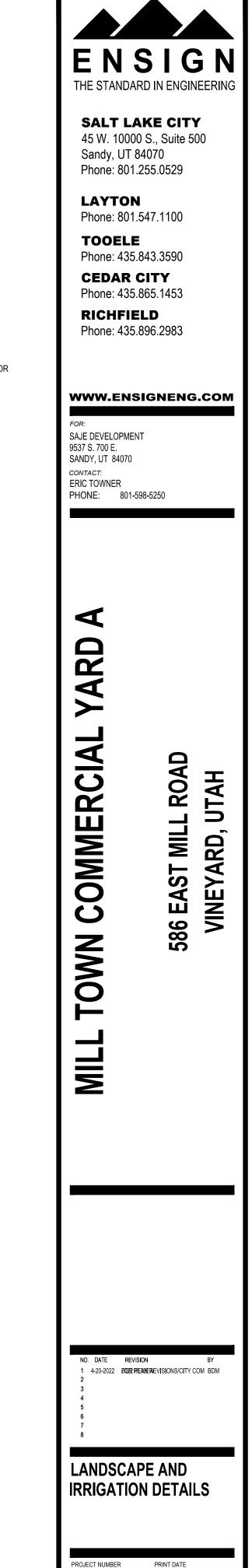






CONTROL VALVE





4/20/22

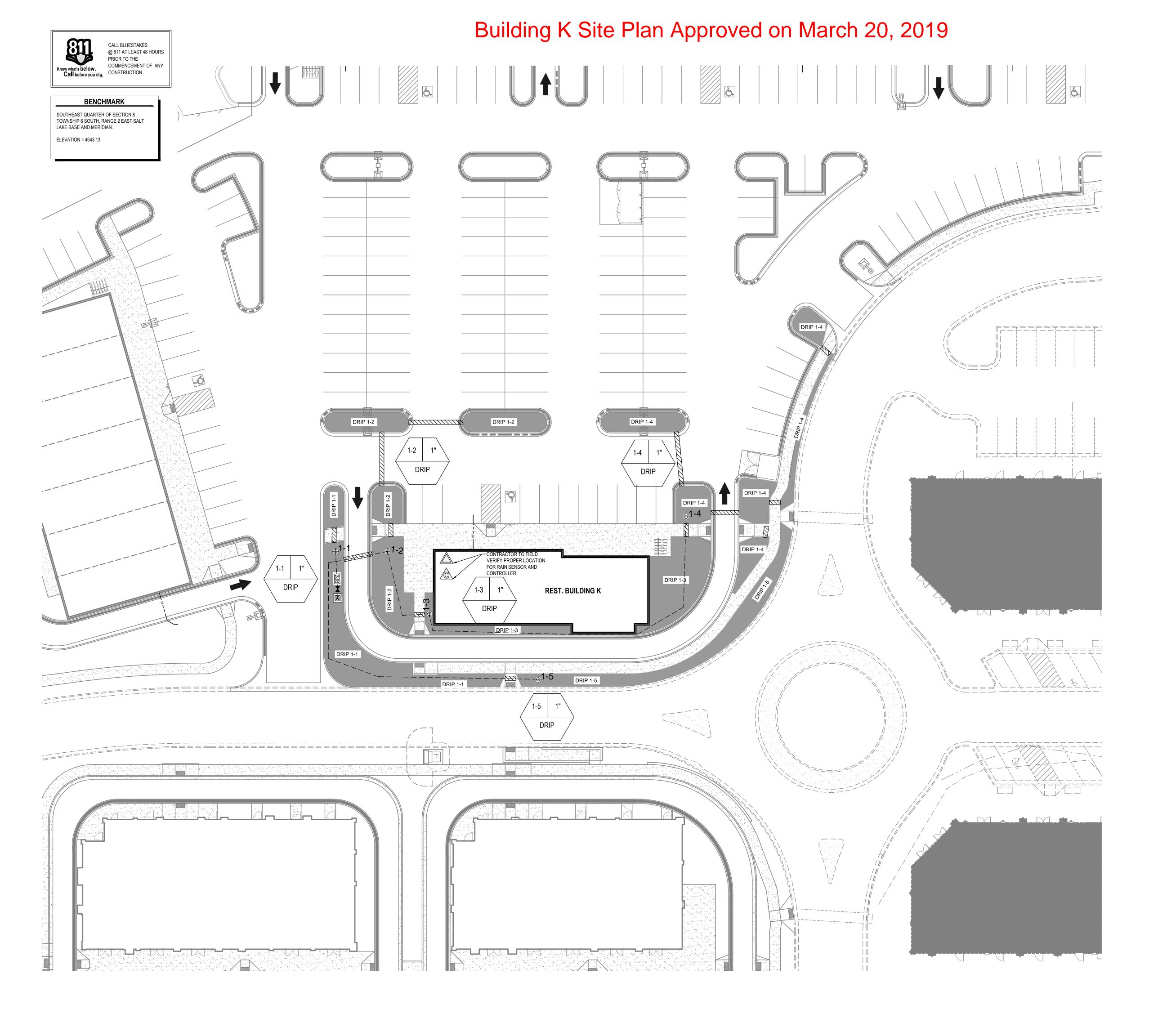
B. MORRIS

6435H

Naseem Chandour, P.E SCALE: NONE 06/29/2022

I. MAERKI

PROJECT MANAGER B. MORRIS



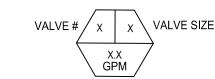
Irrigation

Qty	Symbol	Description
5	<b>⊕</b>	Rain Bird XCZ-100 COM
		Pipe Sleeve - 2x Pipe Diameter
1	M	2 inch meter
		Lateral - Schedule 40 PVC
		Mainline - Schedule 40 3/4"
1		Rain Bird RSD-BEx Rain Sensor
1	<u> </u>	Rain Bird ESP-8LX Plus Controller
1	X	Mueller 3/4" Brass Stop and Waste
1	RPZ	RPZ Backflow Prevention Device
	DRIP AREA	Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters*
	1 1 1	5

\*Install 2 emitters per shrub, 4 emitters per tree

THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY. PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNERS'S FACILITY OPERATION DEPARTMENT.





Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

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FOR:
SAJE DEVELOPMENT
9537 S. 700 F

SAJE DEVELOPMENT
9537 S. 700 E.
SANDY, UT 84070
CONTACT:
ERIC TOWNER
PHONE: 801-598-5250

7N COMMERCIAL YARD 586 EAST MILL ROAD VINEYARD, UTAH



HORIZONTAL GRAPHIC SCALE

L-202

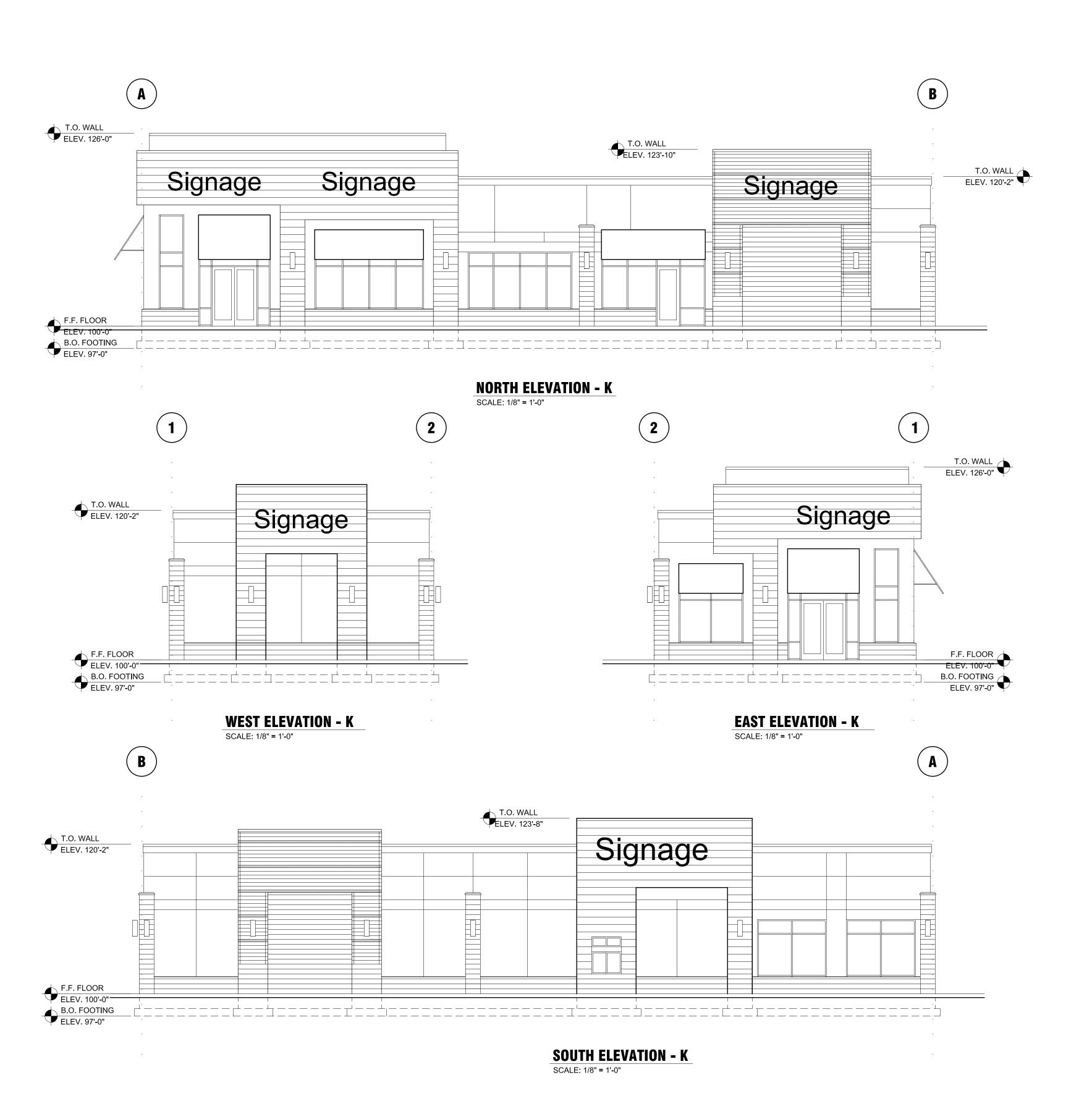
**IRRIGATION PLAN** 

**BUILDING K** 

G OFFERMANN

PROJECT MANAGER B. MORRIS

### Building K Elevations Approved on March 20, 2019





dixon + associates architecture, planning, interiors 833 south 200 east salt lake city, ut 84111 t. 801.595.6400 f. 801.595.8900



PROJECT NUMBER: #15169.00

VINEYARD RETAIL SITE SCHEMATICS

600 MILL ROAD VINEYARD, UTAH

SCHEMATIC DOCUMENTS

#	DATE	DESC.
ISSUE:		27 AUGUST 201
PROJE	CT NO:	
DRAW	NBY:	
CHECK	FD BY:	

SHEET TITLE

**RETAIL K** 

**A2.1** 

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#### VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: November 6, 2024

Agenda Item: Minor Site Plan Amendment - Wendy's 145 S Geneva Road

**Department:** Community Development Department

**Presenter:** Cache Hancey

#### **Background/Discussion:**

As part of the Conditional Use Permit application that was approved for Wendy's, the Planning Commission required that the landscaping strip between the restaurant and Geneva Road be installed prior to the certificate of occupancy being issued. The original plan for the landscaping strip was to be approved and installed with the property to the north, which is also owned by Steve Pruitt. Because of some delays in the site planning process and Wendy's wanting to open, a minor site plan amendment application has been submitted for the landscaping directly to the east of Wendy's.

There is a water line that sits directly below the landscaping strip which prevents the installation of any deep-rooted vegetation. Because of that, no trees are being planted in the area, within 10-feet of the water line. The zoning code does require that 1 tree for every 20 feet of frontage be planted. The Pruitts have agreed to plant an increased number of shrubs and grasses in the areas originally planned for trees, as well as providing additional trees throughout their development, away from the water line.

#### **Fiscal Impact:**

None.

#### **Recommendation:**

Staff recommends approval of the minor site plan amendment with the following conditions:

- 1. All fees are paid and redline corrections are made prior to the issuance of a certificate of occupancy
- 2. Determined by the city engineer, any tree that is located too close to the water line must be moved.

#### **Sample Motion:**

"I move to approve the minor site plan application as presented"

#### **Attachments:**

1. Wendy's Landscape Plan

B. PERFORM MINOR, INVESTIGATIVE EXCAVATIONS TO VERIFY LOCATION OF VARIOUS EXISTING UNDERGROUND FACILITIES AT SUFFICIENT LOCATIONS TO ASSURE THAT NO CONFLICT WITH THE PROPOSED WORK EXISTS AND SUFFICIENT CLEARANCE IS AVAILABLE TO AVOID DAMAGE TO EXISTING FACILITIES.

C. PERFORM INVESTIGATIVE EXCAVATING TEN (10) DAYS MINIMUM IN ADVANCE OF PERFORMING ANY

EXCAVATION OR UNDERGROUND WORK. D. UPON DISCOVERY OF CONFLICTS OR PROBLEMS WITH EXISTING FACILITIES, NOTIFY ARCHITECT BY PHONE OR FAX WITHIN TWENTY-FOUR (24) HOURS. FOLLOW TELEPHONE OR FAX NOTIFICATION WITH LETTER AND DIAGRAMS INDICATING CONFLICT OR PROBLEM AND SUFFICIENT MEASUREMENTS AND DETAILS TO EVALUATE PROBLEM.

PROTECTION: A. SPILLAGE

> 1. AVOID SPILLAGE BY COVERING AND SECURING LOADS WHEN HAULING ON OR ADJACENT TO PUBLIC STREETS OR HIGHWAYS

2. REMOVE SPILLAGE AND SWEEP, WASH, OR OTHERWISE CLEAN PROJECT, STREETS, AND **HIGHWAYS** 

B. DUST CONTROL: 1. TAKE PRECAUTIONS NECESSARY TO PREVENT DUST NUISANCE, BOTH ON-SITE AND ADJACENT TO PUBLIC AND PRIVATE PROPERTIES. 2. CORRECT OR REPAIR DAMAGE CAUSED BY DUST.

C. EXISTING PLANTS AND FEATURES . DO NOT DAMAGE TOPS, TRUNKS, AND ROOTS OF EXISTING TREES AND SHRUBS ON SITE THAT ARE

INTENDED TO REMAIN 2. DO NOT USE HEAVY EQUIPMENT WITHIN BRANCH

SPRFAD 3. INTERFERING BRANCHES MAY BE REMOVED ONLY

WITH PERMISSION OF ARCHITECT. 4. DO NOT DAMAGE OTHER PLANTS AND FEATURES

THAT ARE TO REMAIN. 5. PROTECT UTILITIES AND SITE ELEMENTS FROM

6. LIMIT USE OF HEAVY EQUIPMENT TO AREAS NO CLOSER THAN 6 FEET (1.80 METER) FROM BUILDING OR OTHER PERMANENT STRUCTURES.

3. REPAIR / RESTORATION: A. ADJUST EXISTING COVERS, BOXES, AND VAULTS TO

B. REPLACE BROKEN OR DAMAGED COVERS, BOXES, AND

C. INDEPENDENTLY CONFIRM SIZE, LOCATION. AND NUMBER OF COVERS, BOXES, AND VAULTS THAT REQUIRE ADJUSTMENT.

4. NON-CONFORMING WORK:

A. IF SPECIFIED PROTECTION PRECAUTIONS ARE NOT TAKEN OR CORRECTIONS AND REPAIRS NOT MADE PROMPTLY, OWNER MAY TAKE SUCH STEPS AS MAY BE DEEMED NECESSARY AND DEDUCT COSTS OF SUCH FROM MONIES DUE TO CONTRACTOR. SUCH ACTION OR LACK OF ACTION ON OWNER'S PART DOES NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR PROPER PROTECTION OF THE WORK.

#### TOPSOIL & GRADING NOTES

1. IMPORT AND INSTALL TOPSOIL AS NEEDED TO FILL ALL PLANTING AREAS. SUBMIT TEST BY LICENSED LABORATORY TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. TOPSOIL USED IN LANDSCAPED AREAS SHALL BE WEED FREE, FERTILE, LOOSE, FRIABLE SOIL MEETING THE FOLLOWING CRITERIA:

1) CHEMICAL CHARACTERISTICS: a) SOLUBLE SALTS: LESS THAN 3.0 MMHOS/CM.

b) PH 5.5 TO 8.0. c) SODIUM ABSORPTION RATIO (SAR): LESS THAN 6.0. d) ORGANIC MATTER: GREATER THAN ONE PERCENT.

2) PHYSICAL CHARACTERISTICS: a) GRADATION AS DEFINED BY USDA TRIANGLE OF

PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER. (1) SAND: 15 TO 60 PERCENT

(2) SILT: 10 TO 60 PERCENT. (3) CLAY: 5 TO 30 PERCENT

b) CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, NOXIOUS WEEDS, ROCKS LARGER THAN OR EQUAL TO 1-1/2 INCH (38 MM) IN ANY DIMENSION, AND OTHER OBJECTIONABLE MATERIALS.

(1) SOIL SHALL NOT CONTAIN MORE THAN FIVE (5) PERCENT BY VOLUME OF ROCKS MEASURING OVER 1/4 INCH (6 MM) IN LARGEST SIZE. (2) SOIL SHALL BE TOPSOIL IN NATURE. (3) SOIL RESEMBLING ROAD BASE OR OTHER LIKE MATERIALS ARE NOT ACCEPTABLE.

2. INSTALL A MINIMUM DEPTH OF 5 INCHES TOPSOIL IN LAWN AND GROUND COVER PLANTING AREAS. NO TOPSOIL REQUIRED IN TREE AND SHRUB PLANTING AREAS OR NATIVE GRASS, SHRUB, OR TREE AREAS AS LONG AS WHAT IS IN PLACE IS NOT EXCESSIVELY ROCKY OR OTHERWISE UNFAVORABLE TO HEALTHY PLANT GROWTH. IF IT IS UNFAVORABLE, INSTALL A MINIMUM DEPTH OF 12 INCHES. PROVIDE NO LESS THAN QUANTITY REQUIRED TO ACHIEVE TOLERANCES OUTLINED IN PLANTING NOTE 5. INSTALLER OF THIS SECTION IS RESPONSIBLE FOR PROVIDING SUFFICIENT TOPSOIL MATERIAL.

3. FINISH TOPSOIL GRADE OF PLANTING AREAS BEFORE PLANTING AND AFTER ADDITION OF SOIL ADDITIVES SHALL BE SPECIFIED DISTANCES BELOW TOP OF ADJACENT

PAVEMENT OF ANY KIND: a) GROUND COVER AREAS: 2 INCHES BELOW.

b) SEEDED AREAS: ONE INCH BELOW.

c) SODDED AREAS: 2 INCHES BELOW.

d) TREE AND SHRUB AREAS (NOT INDIVIDUAL TREES): 4 INCHES BELOW.

4. RAKE THE FINISH GRADE OF THE TOPSOIL WITHIN THE PLANTING AREAS TO REMOVE CLODS, ROCKS, WEEDS, ROOTS, DEBRIS OR OTHER MATERIAL 1-1/2" OR MORE IN ANY DIMENSION. GRADE AND SHAPE LANDSCAPE AREA TO BRING SURFACE TO TRUE UNIFORM PLANES FREE FROM IRREGULARITIES AND TO PROVIDE PROPER SLOPE FOR DRAINAGE

#### **IRRIGATION NOTES**

1. FURNISH AND INSTALL LANDSCAPE IRRIGATION SYSTEM AS DESCRIBED IN CONTRACT DOCUMENTS COMPLETE WITH ACCESSORIES NECESSARY FOR PROPER FUNCTION.

2. FIELD TESTS AND INSPECTIONS:

A. IRRIGATION SYSTEM SYSTEM PRESSURE TEST

a) NOTIFY LANDSCAPE ARCHITECT TWO (2) WORKING DAYS MINIMUM BEFORE CONDUCTING TEST. b) IN PRESENCE OF LANDSCAPE ARCHITECT,

PRESSURE TEST MAIN LINE WITH ALL VALVES

INSTALLED. c) TEST PRESSURE AT 100 PSI (690 KPA) MINIMUM FOR TWO (2) HOURS MINIMUM.

d) VERIFY THERE ARE NO LEAKS. e) RECEIVE LANDSCAPE ARCHITECT APPROVAL TO

PROCEED PRIOR TO BACKFILLING. 2. TEST REPORT

a) FOLLOWING PRESSURE TEST, CREATE PRESSURE TEST REPORT. DOCUMENT PRESSURE TEST RESULTS THROUGH PROVIDING PHOTOS. LISTING PROCESSES USED, ISSUES ENCOUNTERED, AND MEASURES TAKEN TO CORRECT PROBLEMS.

B. SUBSTANTIAL COMPLETION WALKTHROUGH: I. LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) WILL INSPECT SITE AND CREATE LIST OF NON-CONFORMING ITEMS TO BE RESOLVED PRIOR TO LANDSCAPE FINAL ACCEPTANCE. DATE ON

THIS LIST WILL ACT AS DATE OF LANDSCAPE SUBSTANTIAL COMPLETION 2. INSTALLATIONS COMPLETED AFTER WATER SOURCE HAS BEEN TURNED OFF FOR SEASON, AS DETERMINED BY LANDSCAPE ARCHITECT, WILL BE INSPECTED FOLLOWING SPRING AFTER SYSTEM CAN BE CHECKED

FOR PROPER OPERATION. C. IRRIGATION APPROVAL 1. IRRIGATION WILL BE APPROVED WHEN ALL NON-CONFORMING WORK IS BROUGHT INTO

CONFORMANCE. 2. CORRECT ANY WORK FOUND DEFECTIVE OR NOT COMPLYING WITH CONTRACT DOCUMENT REQUIREMENTS AT NO ADDITIONAL COST TO OWNER.

3. WINTERIZATION AND SPRING START-UP: DURING FIRST YEAR OF OPERATION, INSTALLER SHALL

SHUT-DOWN IRRIGATION SYSTEM PRIOR TO FREEZING TEMPERATURES AND RE-START IRRIGATION SYSTEM AT BEGINNING OF GROWING SEASON: A. WINTER SHUT-DOWN IS INTENDED TO REMOVE ALL

POTENTIALLY DAMAGING WATER FROM IRRIGATION SYSTEM. PERFORM FOLLOWING AS WELL AS ANY OTHER EFFORTS NECESSARY TO PROPERLY WINTERIZE SYSTEM: 1) TURN OFF WATER SOURCE AT POINT OF

CONNECTION. 2) BLOW OUT SYSTEM WITH PRESSURIZED AIR, TURNING ON EACH VALVE UNTIL WATER IS CLEARED OUT OF SYSTEM. RUN THROUGH SYSTEM TWICE. ONLY BLOW OUT COMPONENTS SUITABLE TO RECEIVE PRESSURIZED AIR. HYDROMETERS, FOR INSTANCE, SHOULD NOT BE BLOWN OUT. DO NOT USE EXCESSIVE AIR PRESSURE THAT WILL DAMAGE

PIPES AND PARTS 3) TURN CONTROLLER OFF OR IF AVAILABLE TURN TO PERTINENT WINTERIZATION.

4) OPEN ALL MANUAL DRAIN VALVES. 5) DRAIN, WRAP, PROTECT, OR REMOVE ANY BACKFLOW DEVICE EXPOSED TO FREEZING TEMPERATURES USING MANUFACTURER'S RECOMMENDATIONS AND BEST PRACTICES COORDINATE METHOD WITH OWNER'S

REPRESENTATIVE 6) DRAIN AND REMOVE PUMPS FOR OWNER'S REPRESENTATIVE STORAGE.

7) DRAIN FILTERS USING MANUFACTURER'S RECOMMENDATIONS. B) CHECK SPRINKLER HEADS TO MAKE SURE THEY ARE BELOW SIDEWALK AND CURB LEVELS AND NOT VULNERABLE TO SNOWPLOW DAMAGE. LOWER

HEADS TO PROPER ELEVATION. 9) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN TURNED OFF.

B. SPRING START-UP SHALL INCLUDE FOLLOWING: ) CLOSE ALL MANUAL VALVES. 2) CLEAN PUMP FILTERS AND REPLACE IF NECESSARY.

3) REMOVE FREEZE PROTECTION AS REQUIRED. 4) TURN ON WATER SOURCE AT POINT OF CONNECTION. 5) VERIFY THAT CONTROLLER(S) AND RAIN SENSOR ARE PROPERLY OPERATING. CHANGE BATTERY IN CONTROLLER(S) AND SENSOR(S) AS REQUIRED.

6) FLUSH ENTIRE SYSTEM. RUN EACH VALVE FOR TWO (2)

13. SLEEVING: MINUTES TO CHECK FOR DAMAGE, LEAKS, AND COVERAGE 7) REPAIR AND ADJUST SYSTEM AS NEEDED. FINE TUNE

HEADS FOR EFFICIENT COVERAGE. 8) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN CHARGED AND IS IN FULL REPAIR.

4. SUBMIT MANUFACTURER'S CUT SHEETS FOR EACH ELEMENT OF SYSTEM TO THE LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) FOR REVIEW AND APPROVAL PRIOR TO BEGINNING INSTALLATION.

5. CLOSEOUT SUBMITTALS:

A. SUBMITTAL FORMAT: DIGITAL FORMAT ONLY. B. OPERATIONS AND MAINTENANCE DATA:

1) PROVIDE IRRIGATION SYSTEM OPERATION AND MAINTENANCE RECOMMENDATIONS.

2) PROVIDE IRRIGATION SYSTEM OPERATION AND MAINTENANCE RECOMMENDATIONS FROM MANUFACTURERS.

3) PROVIDE IRRIGATION SYSTEM WINTERIZATION INSTRUCTIONS.

4) PROVIDE PLANT ESTABLISHMENT PERIOD WATERING SCHEDULE. 5) PROVIDE POST PLANT ESTABLISHMENT PERIOD

WATERING SCHEDULE. . IRRIGATION SYSTEM WARRANTY DOCUMENTATION. D. RECORD DOCUMENTATION:

1) PROVIDE MANUFACTURER'S PRINTED LITERATURE AND CUT SHEETS FOR EACH ELEMENT OF SYSTEM. 2) TESTING AND INSPECTION REPORTS 3) IRRIGATION RECORD DRAWINGS. AS INSTALLATION

BE SUBMITTED BEFORE FINAL INSPECTION, INCLUDING: A) DETAIL AND DIMENSION CHANGES MADE DURING CONSTRUCTION. RECORD AT TIME OF

OCCURS, PREPARE ACCURATE RECORD DRAWING TO

INSTALLATION. B) SIGNIFICANT DETAILS AND DIMENSIONS NOT SHOWN IN ORIGINAL CONTRACT DOCUMENTS. C) FIELD DIMENSIONED LOCATIONS OF VALVE BOXES,

CONTROL WIRE RUNS NOT IN MAINLINE DITCH AND

BOTH ENDS OF SLEEVES. D) TAKE DIMENSIONS FROM PERMANENT CONSTRUCTED SURFACES OR EDGES LOCATED AT OR ABOVE FINISH GRADE.

MANUAL DRAINS, QUICK-COUPLER VALVES,

E) TAKE AND RECORD DIMENSIONS AT TIME OF INSTALL ATION. 4) PROVIDE PHOTOGRAPHS PRIOR TO BURIAL OF KEY

ELEMENTS.

E. FINAL PAYMENT FOR SYSTEM WILL NOT BE AUTHORIZED UNTIL CLOSEOUT SUBMITTALS ARE RECEIVED AND ACCEPTED BY ARCHITECT AND LANDSCAPE ARCHITECT...

6. REGULATORY REQUIREMENTS: A. WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH

LATEST RULES AND REGULATIONS, AND OTHER APPLICABLE STATE OR LOCAL LAWS. B. NOTHING IN CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

7. QUALIFICATIONS: A. IRRIGATION SUBCONTRACTOR:

1. COMPANY SPECIALIZING IN PERFORMING WORK OF THIS SECTION.

> 2. MINIMUM FIVE (5) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS. 3. MINIMUM FIVE (5) SATISFACTORILY COMPLETED IRRIGATION SPRINKLER INSTALLATIONS IN PAST THREE (3) YEARS OF PROJECTS SIMILAR IN SIZE, SCOPE, AND COMPLEXITY REQUIRED FOR THIS

PROJECT BEFORE BIDDING. 4. USE TRAINED PERSONNEL FAMILIAR WITH REQUIRED IRRIGATION SPRINKLER PROCEDURES AND WITH CONTRACT DOCUMENTS.

5. FOREMAN OR SUPERVISOR REQUIRED TO ATTEND SITE MEETINGS F. UPON REQUEST, SUBMIT DOCUMENTATION.

1. PERFORM INSTALLATION UNDER DIRECTION OF FOREMAN OR SUPERVISOR. 2. MINIMUM THREE (3) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS SIMILAR IN SIZE, SCOPE,

B. IRRIGATION INSTALLER:

AND COMPLEXITY.

WARRANTY IRRIGATION SYSTEM FOR PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION. AS PART OF WARRANTY, INSTALLER SHALL PERFORM FOLLOWING: 1) FILLING AND REPAIRING DEPRESSIONS AND

REPLACING PLANTINGS DUE TO SETTLEMENT OF IRRIGATION SYSTEM TRENCHES. 2) REPAIRING FAULTY EQUIPMENT, WIRING AND PIPE INSTALLATIONS.

3) REPAIRING EQUIPMENT AND PIPE NOT PROPERLY

WINTERIZED. 9. VERIFICATION OF CONDITIONS: A. PERFORM SOURCE PRESSURE TEST AT STUB-OUT ON

BEGINNING WORK ON SYSTEM

IRRIGATION LINES.

MAIN WATER LINE PROVIDED FOR IRRIGATION SYSTEM. OR AT NEAR-BY FIRE HYDRANT B. NOTIFY ARCHITECT IF PRESSURES OVER 70 PSI (480 KPA) OR UNDER 55 PSI (379 KPA) ARE FOUND TO DETERMINE IF SOME RE-DESIGN OF SYSTEM IS NECESSARY BEFORE

A. REPAIR OR REPLACE WORK DAMAGED DURING COURSE OF WORK AT NO ADDITIONAL COST TO OWNER. IF DAMAGED WORK IS NEW, INSTALLER OF ORIGINAL WORK SHALL PERFORM REPAIR OR REPLACEMENT. B. DO NOT CUT EXISTING TREE ROOTS MEASURING OVER 2 INCHES (50 MM) IN DIAMETER IN ORDER TO INSTALL

11. LAYOUT OF IRRIGATION SYSTEM: A. LOCATION OF IRRIGATION EQUIPMENT SHOWN ON CONTRACT DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS IS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE WITHOUT SPRAYING

ONTO BUILDINGS, SIDEWALKS, FENCES, ETC.

B. DURING LAYOUT, CONSULT WITH ARCHITECT TO VERIFY PROPER PLACEMENT AND MAKE RECOMMENDATIONS, WHERE REVISIONS ARE ADVISABLE. C. MINOR ADJUSTMENTS IN SYSTEM LAYOUT WILL BE

PERMITTED TO AVOID EXISTING FIXED OBSTRUCTIONS. D. MAKE CERTAIN CHANGES FROM CONTRACT DOCUMENTS ARE SHOWN ON RECORD DRAWINGS.

12. TRENCHING AND BACKFILLING: A. PULLING OF PIPE IS NOT PERMITTE

B. EXCAVATE TRENCHES TO SPECIFIED DEPTH. REMOVE ROCKS LARGER THAN 1-1/2 INCH (38 MM) IN ANY DIRECTION FROM BOTTOM OF TRENCH. SEPARATE OUT ROCKS LARGER THAN 1-1/2 INCH (38 MM) IN ANY DIRECTION UNCOVERED IN TRENCHING OPERATION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING.

C. COVER PIPE BOTH TOP AND SIDES WITH 2 INCHES (50 MM) OF ROCK-FREE SOIL OR SAND. REMAINDER OF BACKFILL TO TOPSOIL DEPTH USING NATIVE MATERIAL. D. DO NOT COVER PRESSURE MAIN, IRRIGATION PIPE, OR FITTINGS UNTIL LANDSCAPE ARCHITECT HAS INSPECTED AND APPROVED SYSTEM.

A. SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES (150 MM) 17.SPRINKLER HEADS AND ROTOR POP-UPS: MINIMUM BEYOND WALK OR PAVEMENT EDGE. COVER SLEEVE ENDS UNTIL PIPES AND WIRES ARE INSTALLED TO KEEP SLEEVE CLEAN AND FREE OF DIRT AND DEBRIS. B. POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE EASILY

REMOVED. C. INSTALL SLEEVES AND CONDUIT BEFORE INSTALLATION OF CAST-IN-PLACE CONCRETE SITE ELEMENTS AND PAVING. COORDINATE WITH APPROPRIATE SUB-CONTRACTOR AS NEEDED FOR TIMELY INSTALLATION.

14. GRADES AND DRAINING:

IN LOCALITIES WHERE WINTERIZATION IS REQUIRED. GRADE PIPING SO SYSTEM CAN BE COMPLETELY DRAINED OR BLOWN OUT WITH COMPRESSED AIR. IF SYSTEM IS NOT DESIGNED TO BE BLOWN OUT WITH COMPRESSED AIR:

1. SLOPE PIPE TO DRAIN TO CONTROL VALVE BOX WHERE POSSIBLE. 2. WHERE THIS IS NOT POSSIBLE, SLOPE PIPE TO MINIMUM NUMBER OF LOW POINTS. AT THESE LOW

POINTS, INSTALL: a) 3/4 INCH (19 MM) BRASS BALL VALVE FOR MANUAL DRAIN. DO NOT USE AUTOMATIC DRAIN VALVES.

b) INSTALL 2 INCH (50 MM) CLASS 200 PVC PIPE OVER TOP OF DRAIN AND CUT AT FINISH GRADE. c) PROVIDE RUBBER VALVE CAP MARKER.

d) PROVIDE ONE CU FT (0.03 CU M) PEA GRAVEL SUMP AT OUTLET OF EACH DRAIN. 3. SLOPE PIPES UNDER PARKING AREAS OR DRIVEWAYS TO DRAIN OUTSIDE THESE AREAS. 4. PROVIDE AND INSTALL QUICK-COUPLING VALVE OR

VALVES IN LOCATION FOR EASY BLOWOUT OF ENTIRE

SYSTEM. INSTALL QUICK COUPLER VALVES WITH 2

LINEAL FEET (0.60 M) MINIMUM OF GALVANIZED PIPE

BETWEEN VALVE AND MAIN LINE.

15. INSTALLATION OF PIPE: A. INSTALL PIPE IN MANNER TO PROVIDE FOR EXPANSION

AND CONTRACTION AS RECOMMENDED BY MANUFACTURER. B. UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS, INSTALL MAIN LINES WITH MINIMUM COVER OF 18 INCHES (450 MM) BASED ON FINISHED GRADE.

INSTALL LATERAL LINES, INCLUDING THOSE CONNECTING DRIP TUBING, WITH MINIMUM OF 12 INCHES (300 MM) OF COVER BASED ON FINISH GRADE C. INSTALL PIPE AND WIRES UNDER DRIVEWAYS OR PARKING AREAS IN SPECIFIED SLEEVES 18 INCHES (450 MM) BELOW

FINISH GRADE OR AS SHOWN ON CONTRACT DRAWINGS. D. LOCATE PIPE SO NO SPRINKLER HEAD WILL BE CLOSER THAN 12 INCHES (300 MM) FROM BUILDING FOUNDATION. E. CUT PLASTIC PIPE SQUARE. REMOVE BURRS AT CUT

ENDS BEFORE INSTALLATION SO UNOBSTRUCTED FLOW F. MAKE SOLVENT WELD JOINTS AS FOLLOWS: 1. DO NOT MAKE SOLVENT WELD JOINTS IF AMBIENT

OUTSIDE OF PIPE.

TEMPERATURE IS BELOW 35 DEG F (2 DEG C). 2. CLEAN MATING PIPE AND FITTING WITH CLEAN, DRY CLOTH AND APPLY ONE (1) COAT OF PRIMER TO EACH SURFACE 3. APPLY UNIFORM COAT OF SOLVENT CEMENT TO

4. APPLY SOLVENT CEMENT TO FITTING IN SIMILAR MANNER. 5. INSERT PIPE COMPLETELY INTO FITTING. 6. GIVE PIPE OR FITTING QUARTER TURN TO INSURE EVEN DISTRIBUTION OF SOLVENT AND MAKE SURE

PIPE IS INSERTED TO FULL DEPTH OF FITTING SOCKET.

HOURS BEFORE APPLYING PRESSURE TO PVC PIPE G. TAPE THREADED CONNECTIONS WITH TEFLON TAPE. H. IF PIPE IS LARGER THAN 3 INCHES (75 MM), INSTALL JOINT RESTRAINTS WHEREVER CHANGE OF DIRECTION OCCURS ON PVC MAIN LINES.

7. ALLOW JOINTS TO SET AT LEAST TWENTY-FOUR (24)

16. CONTROL VALVES AND CONTROL VALVE WIRING: A. INSTALL VALVES IN PLASTIC BOXES WITH REINFORCED HEAVY-DUTY PLASTIC COVERS. LOCATE VALVE BOXES WITHIN 12 INCHES (300 MM) TO 24 INCHES (600 MM) OF SIDEWALKS AND SHRUB BED EDGES WITH TOPS AT FINISH GRADE. DO NOT INSTALL MORE THAN ONE (1) VALVE IN SINGLE BOX.

B. INSTALL EQUIPMENT FOR EASE OF REMOVAL C. PLACE 3 INCHES (75 MM) MINIMUM OF PEA GRAVEL BELOW BRICKS SUPPORTING VALVE BOXES TO DRAIN BOX. SET VALVE BOXES OVER VALVE SO ALL PARTS OF VALVE CAN BE REACHED FOR SERVICE. SET COVER OF VALVE BOX EVEN WITH FINISH GRADE. VALVE BOX CAVITY SHALL BE REASONABLY FREE FROM DIRT AND DEBRIS.

1. USE WATERPROOF WIRE CONNECTORS CONSISTING OF PROPERLY-SIZED WIRE NUT AND GREASE CAP AT SPLICES AND LOCATE ALL SPLICES WITHIN VALVE

a) WIRE LENGTH FROM ANY DECODER TO THE CONTROLLER SHALL BE NO MORE THAN 8,500 FT (2

c) INSTALL LIGHTNING ARRESTOR(S) AS PER MANUFACTURER'S RECOMMENDATIONS. d) FOLLOW ALL OTHER MANUFACTURER RECOMMENDATIONS WHEN INSTALLING WIRE.

b) DO NOT LOOP WIRING.

2. TRADITIONAL WIRING: a) TAPE CONTROL WIRE TO SIDE OF MAIN LINE EVERY 10 FEET (3.050 M). WHERE CONTROL WIRE LEAVES MAIN OR LATERAL LINE, ENCLOSE IT IN GRAY CONDUIT.

b) USE WHITE OR GRAY COLOR FOR COMMON WIRE AND OTHER COLORS FOR ALL OTHER WIRE. EACH COMMON WIRE MAY SERVE ONLY ONE (1) CONTROLLER. c) RUN ONE (1) SPARE CONTROL WIRE FROM PANEL CONTINUOUSLY FROM VALVE TO VALVE

THROUGHOUT SYSTEM SIMILAR TO COMMON WIR

FOR USE AS REPLACEMENT IF WIRE FAILS: 1) RUN SPARE WIRE TO EACH BRANCH OF SYSTEM. 2) SPARE WIRE SHALL BE DIFFERENT COLOR THAN OTHER WIRES. USE OF GREEN WIRE IS NOT ACCEPTABLE. 3) MARK SPARE CONTROL WIRE VISIBLY WITHIN

VALVE BOX AS AN 'UN-CONNECTED WIRE'. EXTEND SPARE CONTROL WIRES 24 INCHES (600 MM) AND LEAVE COILED IN EACH VALVE BOX. MARK SPARE WIRE VISIBLY WITHIN CONTROLLER AS 'UN-CONNECTED WIRE'.

ARRANGE VALVE STATIONS TO OPERATE IN AN EASY-TO-VIEW PROGRESSIVE SEQUENCE AROUND BUILDING. TAG VALVES WITH WATERPROOF LABELS SHOWING FINAL SEQUENCE STATION ASSIGNMENTS.

A. SET SPRINKLER HEADS AND QUICK-COUPLING VALVES PERPENDICULAR TO FINISH GRADE.

B. DO NOT INSTALL SPRINKLERS USING SIDE INLETS. INSTALL USING BASE INLETS ONLY. C. HEADS IMMEDIATELY ADJACENT TO MOW STRIPS, WALKS, OR CURBS SHALL BE

#### **PLANTING NOTES:**

BEFORE PROCEEDING WITH WORK, CHECK AND VERIEY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN DRAWINGS AND SITE TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.

2. PLANT TOTALS ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. VERIFY AMOUNTS SHOWN ON CONTRACT DOCUMENTS. ALL PLANTING INDICATED ON CONTRACT DOCUMENTS IS REQUIRED UNLESS INDICATED OTHERWISE.

3. LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS: A. STAKE LOCATIONS AND OUTLINE AREAS.

B. SECURE LANDSCAPE ARCHITECT'S APPROVAL BEFORE PLANTING. C.MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED.

4. MAINTENANCE: 1. BEFORE BEGINNING MAINTENANCE PERIOD, PLANTS SHALL BE IN AT LEAST AS SOUND, HEALTHY,

VIGOROUS, AND IN APPROVED CONDITION AS WHEN

ARCHITECT IN WRITING AT FINAL LANDSCAPE INSPECTION 2. MAINTAIN LANDSCAPING FOR THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF MAINTENANCE PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN MAINTENANCE PERIOD AFTER START OF GROWING SEASON AS AGREED WITH ARCHITECT, AND CONTINUE ONE (1) CONTINUOUS MONTH

DELIVERED TO SITE, UNLESS ACCEPTED BY

THEREFROM. 3. REPLACE LANDSCAPING THAT IS DEAD OR APPEARS UNHEALTHY OR NON-VIGOROUS AS DIRECTED BY ARCHITECT BEFORE END OF MAINTENANCE PERIOD. MAKE REPLACEMENTS WITHIN TEN (10) DAYS OF NOTIFICATION. LAWN BEING REPLACED SHALL BE GUARANTEED AND MAINTAINED AN ADDITIONAL THIRTY (30) DAYS FROM DATE OF REPLACEMENT.

B. SEEDED LAWN: 1. SEEDED LAWN AREAS WILL NOT BE ACCEPTED AS COMPLETE AND THIRTY (30) DAY MAINTENANCE PERIOD WILL NOT BEGIN UNTIL UNIFORM STAND OF GRASS AT LEAST 3 INCHES (75 MM) TALL HAS BEEN ORTAINED

2. AFTER GRASS IS ESTABLISHED AND 3 INCHES (75 MM) TALL, MOW LAWN AREAS AT LEAST WEEKLY TO A HEIGHT OF 2 INCHES (50 MM). DURING THIS PERIOD PERFORM WORK NECESSARY TO MAINTAIN A FULL, EVEN STAND OF GRASS.

3. AT END OF THIRTY (30) DAYS OF MAINTENANCE PERIOD, FERTILIZE LAWNS. 4. APPLY HERBICIDES AS NECESSARY IN ORDER TO OBTAIN WEED FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND

C. SODDED LAWN: 1. MAINTAIN SODDED LAWN AREAS UNTIL LAWN COMPLIES WITH SPECIFIED REQUIREMENTS AND THROUGHOUT MAINTENANCE PERIOD. 2. WATER SODDED AREAS IN SUFFICIENT QUANTITIES

AND AT REQUIRED FREQUENCY TO MAINTAIN SUB-SOIL IMMEDIATELY UNDER SOD CONTINUOUSLY MOIST 3 TO 4 INCHES (75 TO 100 MM) DEEP. 3. CUT GRASS FIRST TIME WHEN IT REACHES 3 INCHES (75 MM) HIGH. CONTINUE TO MOW AT LEAST ONCE EACH WEEK THROUGHOUT MAINTENANCE PERIOD.

REMOVE CLIPPINGS. 4. APPLY HERBICIDE AS NECESSARY TO MAINTAIN WEED-FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND 27 DEG C).

5. AT END OF THIRTY (30) DAY MAINTENANCE PERIOD, FERTILIZE LAWNS. D. TREES, SHRUBS, AND PLANTS: 1. MAINTAIN BY PRUNING, CULTIVATING, AND WEEDING

AS REQUIRED FOR HEALTHY GROWTH.

5. PROVIDE SUPPLEMENTAL WATER BY HAND AS

2. RESTORE PLANTING BASINS.

FREE OF INSECTS AND DISEASE.

3. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITIONS AS REQUIRED. 4. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS

NEEDED IN ADDITION TO WATER FROM SPRINKLING SYSTEM.

27 DEG C).

PROTECTION:
A. PROTECT PLANTED AREAS AGAINST TRAFFIC OR OTHER USE IMMEDIATELY AFTER PLANTING IS COMPLETED BY PLACING ADEQUATE WARNING SIGNS AND BARRICADES. B. PROVIDE ADEQUATE PROTECTION OF PLANTED AREAS AGAINST TRESPASSING, EROSION, AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER ARCHITECT

HAS ACCEPTED PLANTED AREAS. C. TAKE CARE IN PERFORMING LANDSCAPING WORK TO AVOID CONDITIONS THAT WILL CREATE HAZARDS. POST SIGNS OR BARRIERS AS REQUIRED D. PROVIDE ADEQUATE MEANS FOR PROTECTION FROM

DAMAGE THROUGH EXCESSIVE EROSION, FLOODING, HEAVY RAINS, ETC. REPAIR OR REPLACE DAMAGED E. KEEP SITE WELL DRAINED AND LANDSCAPE

PER THE PERIOD DESCRIBED HEREIN.

EXCAVATIONS DRY. . PROVIDE WRITTEN WARRANTIES AS FOLLOWS: A. WARRANTY WILL EXTEND THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF A CONTINUOUS FIRST THIRTY (30) DAYS OF THE WARRANTY PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN WARRANTY PERIOD AFTER START OF GROWING SEASON AS AGREED ON WITH ARCHITECT. THEREAFTER, CONTINUE WARRANTY

TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR 90 DAYS MINIMUM FROM DATE OF SUBSTANTIAL COMPLETION. C. WARRANTY TREES TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR ONE YEAR FROM DATE OF SUBSTANTIAL

B. WARRANTY SHRUBS, GROUND COVERS, AND VINES

COMPLETION D. WHEN TREES ARE COMPLETELY ACCEPTED AT END OF WARRANTY PERIOD, REMOVE STAKING

DELIVERY. STORAGE, AND HANDLING

A. DELIVERY AND ACCEPTANCE REQUIREMENTS 1. DELIVER TREES, SHRUBS, GROUND COVERS, AND PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY.

2. DO NOT PRUNE BEFORE DELIVERY, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.

3. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE.

4. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY NATURAL SHAPE. 5. PROVIDE PROTECTIVE COVERING DURING DELIVERY.

B. STORAGE AND HANDLING REQUIREMENTS; 1. HANDLE BALLED STOCK BY ROOT BALL OR CONTAINER. DO NOT DROP TREES AND SHRUBS DURING DELIVERY. 2. IF PLANTING IS DELAYED MORE THAN SIX HOURS

AFTER DELIVERY, SET PLANTING MATERIALS IN SHADE AND PROTECT FROM WEATHER AND MECHANICAL DAMAGE. 3. SET BALLED STOCK ON GROUND AND COVER BALL

WITH SOIL, SAW DUST, OR OTHER ACCEPTABLE MATERIAL APPROVED BY LANDSCAPE ARCHITECT. 4. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. 5. DO NOT STORE PLANT MATERIAL ON PAVEMENT.

6. WATER ROOT SYSTEMS OF TREES AND SHRUBS STORED ON SITE WITH FINE SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN MOIST CONDITION. DO NOT ALLOW PLANT FOLIAGE TO DRY OUT.

DELIVERY.

D. MEASUREMENTS:

OF HEIGHT.

NURSERY OR GROWER.

A. CONFORM TO REQUIREMENTS OF PLANT LIST AND KEY ON CONTRACT DOCUMENTS AND TO ANLA / ANSI Z60.1. B. PLANT NAMES USED IN PLANT LIST CONFORM TO 'STANDARDIZED PLANT NAMES' BY AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE EXCEPT IN CASES NOT COVERED. IN THESE INSTANCES, FOLLOW CUSTOM OF NURSERY TRADE. PLANTS SHALL BEAR TAG SHOWING GENUS, SPECIES, AND VARIETY OF AT LEAST 10 PERCENT OF EACH SPECIES DELIVERED TO SITE.

C. QUALITY: 1. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS. FREE FROM PLANT DISEASE, INSECT PESTS OR THEIR EGGS. NOXIOUS WEEDS. AND HAVE HEALTHY, NORMAL ROOT SYSTEMS. CONTAINER STOCK SHALL BE WELL ESTABLISHED AND FREE OF EXCESSIVE ROOT-BOUND CONDITIONS. 2. DO NOT PRUNE PLANTS OR TOP TREES PRIOR TO

3. PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AS TO SIZE, HEALTH, QUALITY, AND CHARACTER 4. BARE ROOT TREES ARE NOT ACCEPTABLE 5. PROVIDE PLANT MATERIALS FROM LICENSED

1. MEASURE HEIGHT AND SPREAD OF SPECIMEN PLANT MATERIALS WITH BRANCHES IN THEIR NORMAL POSITION AS INDICATED ON CONTRACT DOCUMENTS OR PLANT LIST. 2. MEASUREMENT SHOULD BE AVERAGE OF PLANT, NOT GREATEST DIAMETER. FOR EXAMPLE, PLANT MEASURING 15 INCHES (375 MM) IN WIDEST DIRECTION AND 9 INCHES (225 MM) IN NARROWEST

WOULD BE CLASSIFIED AS 12 INCH (300 MM) STOCK.

3. PLANTS PROPERLY TRIMMED AND TRANSPLANTED SHOULD MEASURE SAME IN EVERY DIRECTION. 4. MEASURE CALIPER OF TREES 6 INCHES (150 MM) ABOVE SURFACE OF GROUND. 5. WHERE CALIPER OR OTHER DIMENSIONS OF PLANT MATERIALS ARE OMITTED FROM PLANT LIST, PLANT

MATERIALS SHALL BE NORMAL STOCK FOR TYPE LISTED. 6. PLANT MATERIALS LARGER THAN THOSE SPECIFIED MAY BE SUPPLIED WITH PRIOR WRITTEN APPROVA OF LANDSCAPE ARCHITECT. AND: a) IF COMPLYING WITH CONTRACT DOCUMENT REQUIREMENTS IN ALL OTHER RESPECTS.

b) IF AT NO ADDITIONAL COST TO OWNER. c) IF SIZES OF ROOTS OR BALLS ARE INCREASED PROPORTIONATELY. E. SHAPE AND FORM: 1. PLANT MATERIALS SHALL BE SYMMETRICAL OR TYPICAL FOR VARIETY AND SPECIES AND CONFORM

TO MEASUREMENTS SPECIFIED IN PLANT LIST. 2. WELL GROWN MATERIAL WILL GENERALLY HAVE HEIGHT EQUAL TO OR GREATER THAN SPREAD. HOWEVER, SPREAD SHALL NOT BE LESS THAN 2/3'S

A.IF UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION OF PLANTING HOLES, LANDSCAPE ARCHITECT WILL SELECT ALTERNATE LOCATIONS. **B.PLANT EXCAVATION SIZE:** 1. DIAMETER: TWICE DIAMETER OF ROOT BALL OR

CONTAINER MINIMUM. 2. DEPTH: EQUAL TO CONTAINER OR ROOTBALL DEPTH. C.UNLESS EXCAVATED MATERIAL MEETS TOPSOIL REQUIREMENTS AS SPECIFIED IN "TOPSOIL & GRADING NOTES", REMOVE FROM LANDSCAPE AREAS AND DO NOT **USE FOR LANDSCAPING PURPOSES** D.ROUGHEN SIDES AND BOTTOMS OF EXCAVATIONS.

(5) TYPICAL PLANTING EXCAVATIONS THROUGHOUT SITE FOR DRAINAGE TESTING. 1. THAT WATER DRAINS AWAY AT RATE OF 3 INCHES (75 MM) PER HOUR MINIMUM. INFORM LANDSCAPE ARCHITECT IN WRITING OF EXCAVATIONS WHERE WATER DOES NOT DRAIN PROPERLY. 2. SELECT THREE (3) EXCAVATIONS APPROXIMATELY 5 FEET (1 500 MM) AWAY FROM EACH NON-DRAINING

E.WITH APPROVAL OF LANDSCAPE ARCHITECT, SELECT FIVE

PROCESS UNTIL NON-DRAINING AREAS HAVE BEEN IDENTIFIED. 3. IN EXCAVATIONS LOCATED IN IDENTIFIED NON-DRAINING AREAS, AUGER 6 INCH (150 MM) DIAMETER HOLE 4 FEET (1 200 MM) DEEP IN LOW POINT OF EACH EXCAVATION AND FILL WITH TAMPED PLANTING MIX.

4. DO NOT PLANT TREES OR SHRUBS IN HOLES THAT DO

NOT PROPERLY DRAIN.

EXCAVATION AND REPEAT TESTS. CONTINUE TESTING

10. PLANTING

ROOT BALL

1. REMOVING BINDERS AND CONTAINERS: A. REMOVE TOP ONE / THIRD OF WIRE BASKET AND

**BURLAP BINDERS** B. REMOVE PLASTIC AND TWINE BINDERS FROM

AROUND ROOT BALL AND TREE TRUNK. C. REMOVE PLASTIC CONTAINERS. D. REMOVE WOOD BOXES FROM AROUND ROOT BALL REMOVE BOX BOTTOMS BEFORE POSITIONING PLANT IN HOLE. AFTER PLANT IS PARTIALLY PLANTED. REMOVE REMAINDER OF BOX WITHOUT INJURING

2. PLANT IMMEDIATELY AFTER REMOVING BINDING MATERIAL AND CONTAINERS: A. PLACE TREE AND SHRUB ROOT BALLS ON

UNDISTURBED SOIL. B. AFTER WATERING AND SETTLING, TOP OF TREE ROOT BALLS SHALL BE APPROXIMATELY TWO INCHES (50 MM) HIGHER THAN FINISHED GRADE AND TRUNK

FLARE IS VISIBLE. C. SHRUB ROOT BALLS SHALL BE APPROXIMATELY ONE INCH (25 MM) HIGHER THAN FINISHED GRADE. 3. PROPERLY CUT OFF BROKEN OR FRAYED ROOTS. 4. CENTER PLANT IN HOLE, REMOVE REMAINING WIRE

BASKET AND BURLAP TAKING CARE NOT DO DAMAGE ROOT BALL: A. REPLACE DAMAGED MATERIAL B. BACKFILL WITH SPECIFIED PLANTING MIX.

C. EXCEPT IN HEAVY CLAY SOILS, MAKE RING OF MOUNDED SOIL AROUND HOLE PERIMETER TO FORM WATERING BASIN 5. ADD FERTILIZER IN PLANT PIT AS PER 'TOPSOIL TESTING

REPORT' AND DURING PROPER SEASON. 6. FILL LANDSCAPE EXCAVATIONS WITH TAMPED PLANTING MIX AND RECOMMENDED FERTILIZER: A. COMPACT IN 6 INCH (150 MM) LIFTS B. SETTLE BY WATERING TO ENSURE TOP OF ROOT BALL IS 2 INCHES (50 MM) HIGHER FOR TREES AND

ONE INCH (25 MM) HIGHER FOR SHRUBS THAN

SURROUNDING SOIL FOLLOWING COMPACTION AND SETTLING. 7. DO NOT USE MUDDY SOIL FOR BACKFILLING. 8. MAKE ADJUSTMENTS IN POSITIONS OF PLANTS AS

DIRECTED BY LANDSCAPE ARCHITECT.

9. THOROUGHLY WATER TREES AND SHRUBS IMMEDIATELY AFTER PLANTING. 10.AT BASE OF EACH TREE, LEAVE 36 INCH (900 MM)

DIAMETER CIRCLE FREE OF ANY GRASS.

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(1)

PROJECT NO:18125.E

DRAWN BY: TG

CHECKED BY: SS

DATE: MARCH 2023

PROPERTY NO: LANDSCAPE NOTES &

DRAWING INDEX

SHEET DESCRIPTION

LANDSCAPE NOTES & SPECIFICATIONS LANDSCAPE PLANTING PLAN

> LANDSCAPE PLANTING PLAN LANDSCAPE DETAILS

> > SPECIFICATIONS

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#### LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE		DETAIL
DECIDUOUS TREES						
	19	HEARTLAND CATALPA	CATALPA SPECIOSA 'HIAWATHA 2'	2" CAL.		D/L5.01
•	19	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2" CAL.		D/L5.01
SHRUBS						
	150	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.		B/L5.01
	95	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL.		B/L5.01
ORNAMENTAL GRASSES	3					
*	212	FOERSTER'S FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL.		A/L5.01
•	231	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.		A/L5.01
•	72	BEAR GRASS	NOLINA MICROCARPA	1 GAL.		A/L5.01
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
BOULDERS  CRUSHED ROCK	78	"RED VEIN" BOULDERS FROM BROWNS CANYON QUARRY	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4' DIAMETER IN ALL DIRECTIONS	UTAH LANDSCAPING ROCK (435) 250-3851 OR APPROVED EQUAL	F/L5.01
	22,996 S.F.	"SOUTH TOWN" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	3/4" DIAMETER	UTAH LANDSCAPING ROCK (435) 250-3851 OR APPROVED EQUAL	E/L5.01



#### **GENERAL NOTE**

REFER TO COMMON EARTHWORK AND PLANTING NOTES ON SHEET L0.01

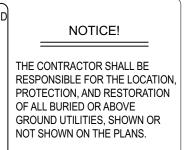
#### **VINEYARD CITY DATA**

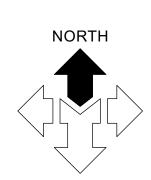
CH 15 38 DADKING AND LANDSCADE DECLIDEMENTS

CH. 15.38 PARKING AND LANDSCAPE REQUIREMENTS				
ZONED AS	REGIONAL MIXED USE DISTRICT (RMU)			
TOTAL ON-SITE AREA	74,416 S.F. = 1.71 AC.			
TOTAL LANDSCAPE AREA	22,546 S.F. = 30%			
	REQUIRED	PROVIDED		
GENERAL:				
REQUIRED LANDSCAPE AREA - 20% MIN.	20% MIN. = 14,883 S.F.	22,546 S.F. = 30%		
STREET FRONTAGE				
LAWN	MAX. 20%	0%		
PLANT COVERAGE	MIN. 50%	50%		
REQUIRED TREES - 1 PER 20' OF STREET FRONTAGE	422' / 20 = 21	21		
REQUIRED SHRUBS - 10 PER 20' OF STREET FRONTAGE	422' / 20 = 21 X10 = 210	>210		
PARKING LOT LANDSCAPE:				
REQUIRED LANDSCAPE AREA	MIN. 5% = 1,429 S.F.	1,901 S.F. = 7%		
1 TREE PER LANDSCAPE ISLAND		YES		
SHRUBS WITHIN PARKING LOT LANDSCAPE AREAS	3' HIGH MAX.	YES		
	1			

90 FT







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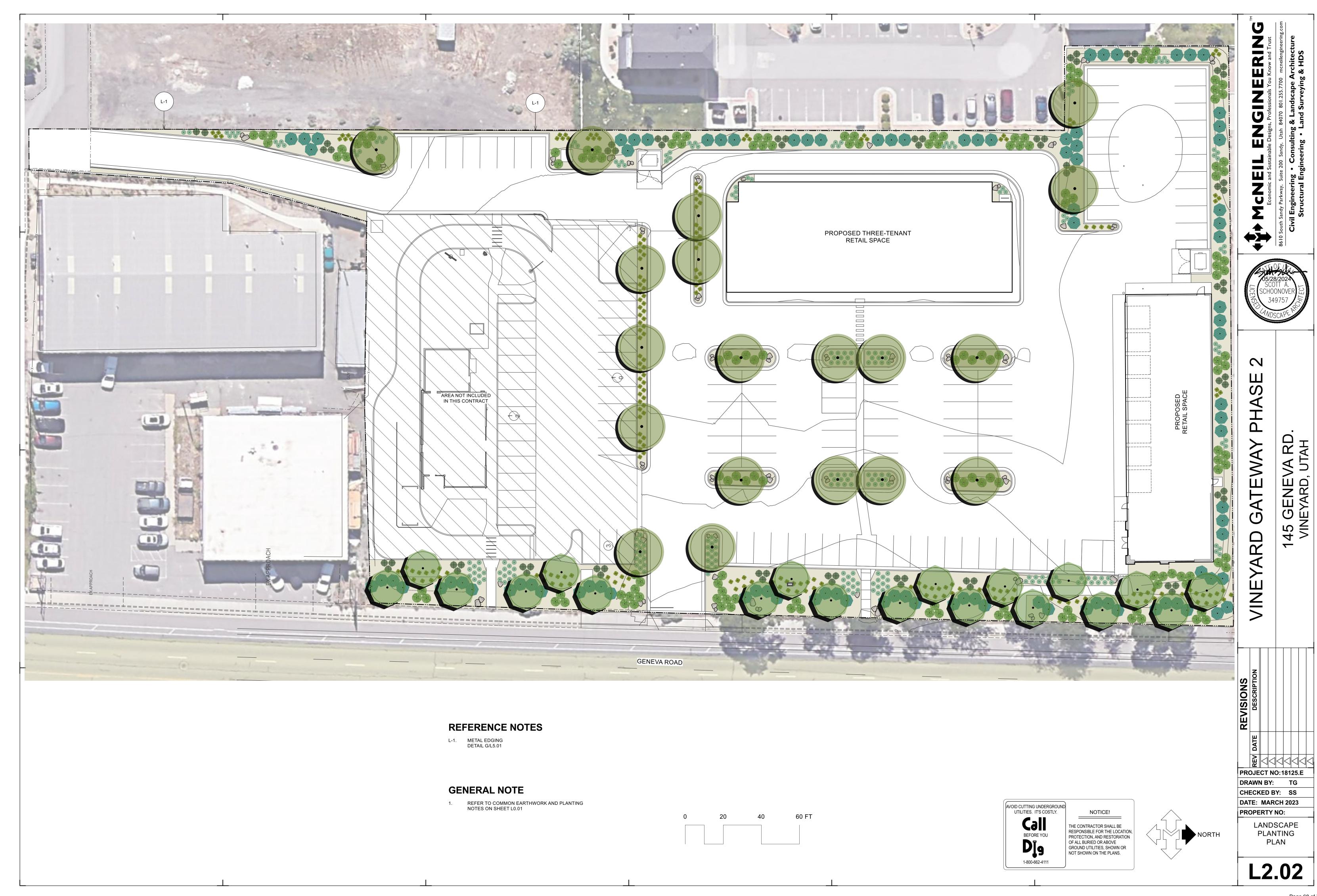
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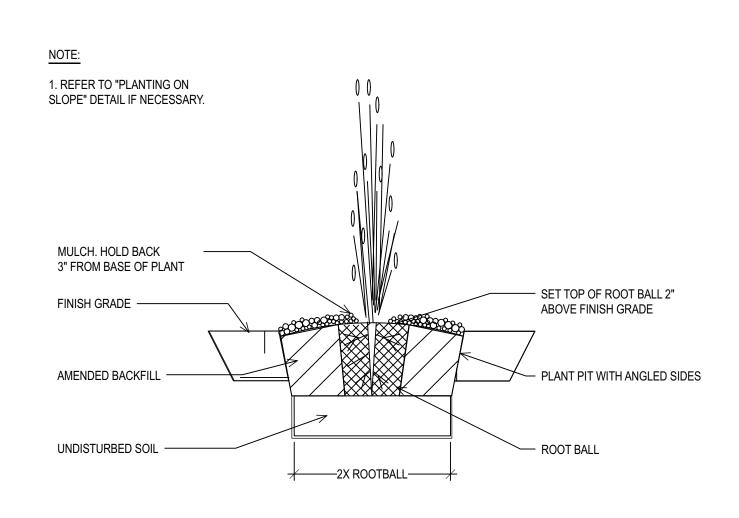
DRAWN BY: TG CHECKED BY: SS DATE: MARCH 2023 PROPERTY NO:

> LANDSCAPE PLANTING PLAN

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AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY. BEFORE YOU

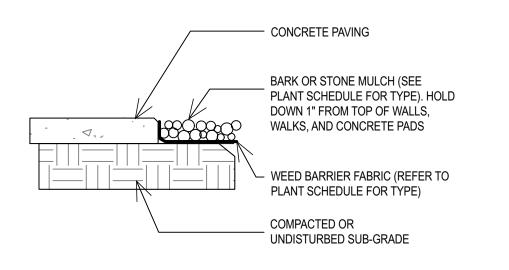




### GRASSES AND PERENNIALS

#### NOTES:

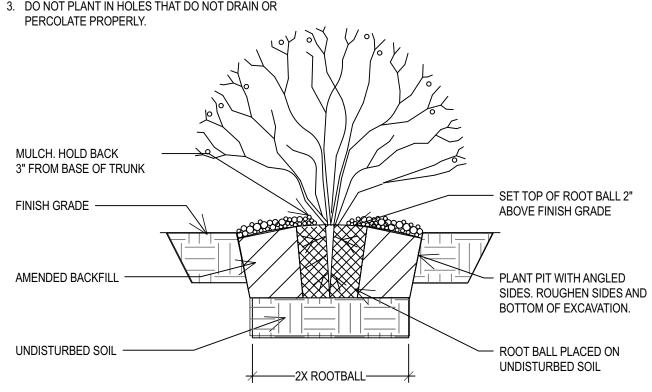
- 1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
- 2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
- 3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



## E MULCH NO SCALE

#### NOTES:

- 1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
- 2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
- 3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR

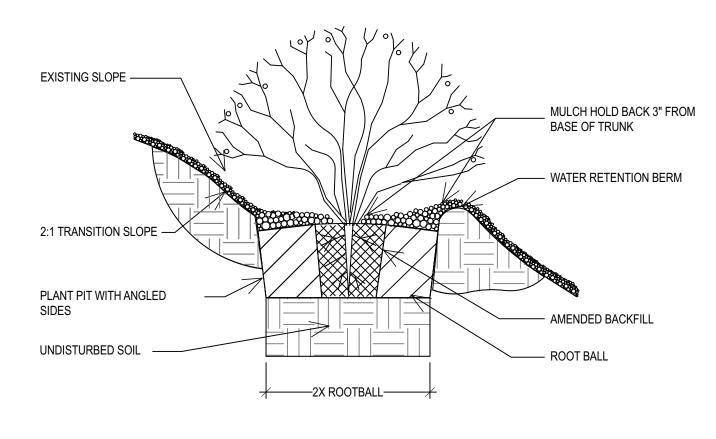


### SHRUB PLANTING

— MULCH FINISH GRADE

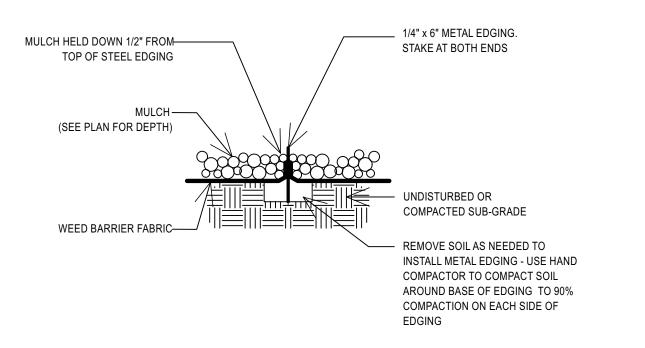
### BOULDER

NO SCALE



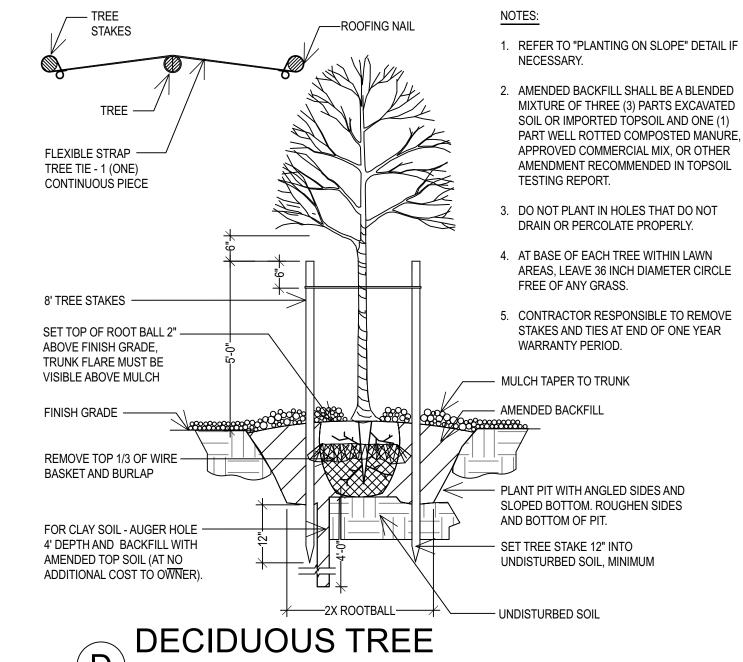
# PLANTING ON SLOPE

NOTE: EDGING SHALL BE COL-MET COMMERCIAL EDGING WITH BLACK POWDER COATING FINISH. MINIMUM 16" LONG STAKES - 4 STAKES PER 10'-0" SECTION.



### METAL EDGING

NO SCALE



NO SCALE

2 S

VINE

PROJECT NO:18125.E DRAWN BY: TG

CHECKED BY: SS DATE: MARCH 2023 PROPERTY NO:

> LANDSCAPE **DETAILS**

L5.01

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ATEM Ŋ YARD



#### VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: November 6, 2024

**Agenda Item:** Zoning Code Overhaul - Building Design and Site Standards

**Department:** Community Development

**Presenter:** Rachel Stevens

#### **Background/Discussion:**

Summary of Changes:

The purpose of the proposed changes is to create standards that are quantitative and remove subjective language. This section is intended to promote high-level project site planning and shall apply to zones that are not in a special purpose district.

- Remove "Design Guidelines" which use the verb "should." Keep the language "Design Standards" which use the verb "shall."
- Provide specific standards for building facades which face a street which include varying roofline, visual patterns, and architectural details.
- Provide a definition for minor site plan amendments which include building additions and accessory structures.
- Provide specific standards for pedestrian entrances.
- Define pedestrian scales and provide specific standards for building over twenty feet to maintain pedestrian scale.
- Provide specific standards for building materials.
- Remove subjective language regarding and finish.
- Add language that drive-thru aisles shall follow provisions in Section 15.34.190.
- Add language that a view corridor analysis may be required by the City Planner.
- Add language that all developments should include landscape accessories.

#### Fiscal Impact:

#### **Recommendation:**

No action will be taken.

#### **Sample Motion:**

No action will be taken.

#### **Attachments:**

1. ZTA - Building Design and site standards summary

#### 15.36 Site Planning and Building Design Requirements

#### Summary of Changes:

The purpose of the proposed changes is to create standards that are quantitative and remove subjective language. This section is intended to promote high-level project site planning and shall apply to zones that are not in a special purpose district.

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- Add language that a view corridor analysis may be required by the City Planner.
- Add language that all developments should include landscape accessories.

#### **15.36.010 Purpose**

The purpose of this Chapter is to promote a high-level of project site planning and building design and quality consistency, sensitivity to the natural environment of the city, and to create and protect the desired community character and identity of the city. This Chapter is intended to:

- 1. Assist all Land Use Authorities in land use and development decision-making.
- 2. Provide information and direction to all property owners intending to develop land or build within the city.
- 3. Promote compatibility between the natural and man-made environments and minimize obstruction of significant views.
- 4. Promote the desired high quality site planning, building, lighting, signage, and streetscape design.
- 5. <u>Promote projects that create and protect the desired community character and identity, and preserve and enhance property values.</u>
- 6. Promote projects that add visual interest and attractiveness to the city through architecture, art, streetscape designs, multi-use trails, consistency in design features, and useable open space.
- 7. Promote projects which balance the scale of all proposed uses, buildings and structures to the project site, adjacent properties, and streets from which the project will be accessed or viewed.

Design Criteria: This chapter establishes design standards intended to improve the quality and compatibility of development, particularly with regard to building design, and site design. These criteria apply to commercial, public facilities, industrial or mixed-use projects and are the minimum that will be accepted except where a different standard is impose by the requirements of an applicable zoning classification or overly zone.

1. <u>Design Standards are required in addition to other standards set forth in this Ordinance</u> and all other Land Use Ordinances and are indicated by the verb "shall".

#### 15.36.030 Project Site Planning And Building Design Requirements Edit

To meet the purposes of this Chapter, this Ordinance, and all other Land Use Ordinances, the following Design Standards and Design Guidelines are provided as follows:

- 1. Design Standards. Design Standards are required in addition to other standards set forth in this Ordinance and all other Land Use Ordinances and are indicated by the verb "shall." Design Guidelines. Design Guidelines indicate additional actions that may be taken to enhance site design and achieve greater compatibility with adjacent land uses. Guidelines use the verb "should" to signify that the guidelines are desirable objectives. Application of the guidelines will depend on the nature and location of the proposed uses or buildings, as may be determined necessary by the Land Use Authority. All Subdivision Application approvals and all Use Application approvals shall balance the scale of all proposed uses, buildings and structures to the project site, adjacent properties, and streets from which the project will be accessed or viewed. Elevation and Cross-Section drawings, photographs, or other studies or models may be required by a Land Use Authority to illustrate or fully explain how a proposed development will address these issues. All projects shall identify an overall and consistent design theme that compliments and adds to the image and identify of the city. To create and protect the desired community character and identity and preserve and enhance property values, all proposed uses shall incorporate design elements as follows:
- Design Standards. Design Standards are required in addition to other standards set forth in this Ordinance and all other Land Use Ordinances and are indicated by the verb "shall."
- 2. Subdivision and Project Features. All subdivisions and other projects shall include at least two subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the city. Such features may include subdivisions and project entry features, public art pieces, streetscape designs, pedestrian and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and useable parks and open spaces. Developers are encouraged to work with the Planning Commission and city staff in determining appropriate project features.
  - A. Building Design. Vineyard city encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures blend harmoniously with the natural environment. The following building design requirements

shall apply: View protection. Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominant rooflines shall be avoided. Building massing. In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures. The following methods shall be required:

- 3. Coherent building design. All sides of a building facing a street may have a visual or other impact, and shall be coherently designed and treated. A facade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building facing a street shall be provided.
  - 1. Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest. All buildings shall demonstrate articulation on all facades. Horizontal facade variations shall occur at least every thirty feet (30') or along a minimum of sixty percent (60%) of the horizontal length of buildings with facades one hundred feet (100') or greater. This shall be accomplished by using methods such as:
    - 1. <u>Variation in the surface plane that may include pop outs, bays, and recesses;</u>
    - 2. Variation in the surface pattern such as arches, banding, and paneling; or
    - 3. <u>Distinguished treatment of windows, doors, and eaves that may include</u> molding or framing
- Reduced roof mass. The roof of a building is often the single greatest contributor to its
  mass and most obvious obstacle to the views from adjacent properties. Visual impact is
  minimized when the roof is a very shallow pitch, or a hip roof formation (sloping from the
  sides as well as the front and back) rather than a gabled formation (sloping from the
  front and back only).
  - 1. Varying roofline. Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form. All buildings shall include varied rooflines in order to reduce roof mass, add architectural interest and avoid the appearance or sense of monotonous roofline expanses by:
    - 1. <u>Providing roofline and parapet variations where there are long,</u> continuous, and undisturbed rooflines fifty feet (50') or longer; and
    - 2. Using materials and colors on the back of false fronts, parapets, cornices, or other parts of the building which extend beyond the roofline that are similar to the rest of the building so that the building appears cohesive from all views.

- 3. Visual patterns. All buildings shall have shadow relief created by recesses and projections. All buildings shall have a minimum of one recess or projection to provide shadow relief. Building facades greater than one hundred feet (100') in length shall have a recess or projection occur at least every one hundred feet (100'). Recesses may include courtyards, entryways, or boxed window openings, along the exterior of the building. Projections may include stairs, balconies, entrances, or bays. Covered walkways, porches, breezeways, patios, trellises, landscape areas, and wide roof overhangs may count as a recess or projection if approved by the City Planner are encouraged to produce shadow effects. Large, unbroken expanses of exterior walls shall be avoided.
- 4. **Architectural details**. Surface details, ornaments, and other building elements that enrich the character of a building are <a href="required.encouraged.">required.encouraged.</a>
  Attention to detail, including all building and architectural design elements shall be required. All buildings shall utilize two (2) or more of Tthe following architectural details:

  are desirable and encouraged:
  - 1. Stonework.
  - 2. Exposed beams and columns.
  - 3. Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features.
  - 4. Covered entries, patios, walkways, breezeways, bays, and balconies.
  - 5. Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs.
  - 6. Accessories such as art features, benches, pots, lamps, artwork, and sculptures.
- 4. **Building Additions**. Additions less than fifteen percent (15%) of the existing on-site building(s) or less than seven thousand five hundred (7,500) square feet, whichever is less, shall be approved as a minor site plan amendment. Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing buildings. If the proposed addition(s) exceed fifteen percent (15%) of the existing on-site building(s) or exceed seven thousand five hundred (7,500) square feet, whichever is less, the entire site must comply with current building design requirements.
- 5. Accessory Buildings and Structures. Accessory buildings and structures may be approved as a minor site plan amendment. Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure. If the proposed accessory building(s) and structure(s) is greater than amounts stated below, the entire site must comply with current building design requirements. An increase in square footage must meet the required Parking Requirements.
  - 1. Multi-family Residential Accessory Buildings and Structures. Accessory buildings and structures less than ten percent (10%) of the existing on-site building(s) or less than seven thousand five hundred (7,500) square feet, whichever is less, shall be approved as a minor site plan amendment. No accessory structure may contain additional dwelling units.
  - 2. Commercial Accessory Buildings and Structures. Accessory buildings and structures less than fifteen percent (15%) of the existing on-site building(s) or less

- than seven thousand five hundred (7,500) square feet, whichever is less, shall be approved as a minor site plan amendment.
- 3. <u>Mixed-Use Accessory Building and Structures</u>. Accessory buildings and structures less than ten percent (10%) of the existing on-site building(s) or less than seven thousand five hundred (7,500) square feet, whichever is less, shall be approved as a minor site plan amendment.
- 6. **Mechanical Equipment**. Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights- of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted or roof mounted mechanical or communications equipment shall be the same color as the roofing or parapet materials to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall have blend with the same color and design details of the building.
- 7. **Building Location**. The location of all new buildings and structures shall incorporate the following building design principles:
  - Sensitivity to Adjacent Buildings. All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.
  - 2. All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.
  - 3. All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable.
  - 4. All buildings shall have an orientation to the street(s) to which it has frontage to encourage a pedestrian relationship, by providing at least one main building entrance that faces a public street. This shall be accomplished through the use of at least three (3) of the following near entrances:
    - 1. A prominent architectural feature that is unique to the overall building design;
    - 2. Complementary yet differing building materials or colors;
    - 3. <u>Pedestrian amenities that may include patios, porches, special paving treatments, seating areas, or awnings; or</u>
    - 4. <u>Increased landscaping near the entrance.</u> Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.
- 8. Pedestrian Scale. Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eyelevel. Buildings that contain more than one story or that are above twenty feet (20') in height shall provide a clearly articulated and more detailed base that relates to pedestrians. The base must include one of the following design elements:
  - 1. Use of transparent material;
  - 2. Use of brick or masonry;
  - 3. Detailed architectural features; or
  - 4. Another element approved by the City Planner.

- 9. **Building Materials and Textures.** All building and structures shall incorporate the following building design principles. Exterior building materials shall be similar to and compatible with those found in a rural setting.
  - 1. Restraint should be used in the number of different exterior building materials selected.-At least sixty percent (60%) of each building's finished face shall be a primary material.
  - 2. Each building shall be completed on all sides with acceptable finishing materials. Primary materials are: Masonry, wood siding, board and batten, lap siding, exposed wood structural members, brick, stone, colored textured block, glass, wood, and other materials of comparable quality as approved by the City Planner. Secondary materials may include: aluminum composite material panel systems, stucco, and other materials of comparable quality as approved by the City Planner.
  - 3. <u>Doors, glass, and roofing materials shall not be included in the calculations of primary materials.</u>
  - 4. All projects shall submit color elevations that call out the specific building material type and color. The City Planner may require actual samples of exterior surface materials in order to verify quality of material and conformance with the standards found within this section.
- 10. Building Material Color and Finishes. Color is an important and effective way to create harmony with the natural landscape and minimize the visual impact of structures. Color variation using compatible hues can reduce the apparent scale and building mass.
  - All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior building colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main building.
  - 2. Building Finishes. High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down spout, mechanical and electrical equipment, railings, window shading devices and other exterior devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Accent colors shall cover less than 5% of any given facade. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is prohibited. strongly discouraged.
- 11. **Subdivision and Site Design and Layout**. All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable.
  - 1. Subdivision and site design and planning shall include the following principles:
    - All buildings and structures shall be arranged to preserve and provide open space and to protect views. The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.
    - 2. Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space

- and landscaping to connect with similar open spaces and landscaping areas existing, or planned to be located, on adjacent properties.
- 3. Pad buildings in commercial developments, including service stations, convenience stores, restaurants, auto maintenance facilities and similar uses shall be designed in a compatible architectural style and shall incorporate similar materials, colors and landscaping as the primary development.
- 12. **Site Access**. The location and number of access points to the site, the interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.
  - 1. Drive-thru aisles shall follow the provisions in Section 15.34.190.
- 13. **Noise Impact**. Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.
- 14. Views. Due to the community quality and character created by the surrounding scenic beauty, it is essential that the city and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake. A view corridor analysis may be required by the City
  Planner.
- 15. Landscaping Design Standards. Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year round site beautification, blend with the natural landscape and highlight building design features. Landscape designers shall recognize the following landscape design principles with Landscape Plan(s):
  - 1. Landscape Buffers. Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.
  - 2. **Transitional Landscaped Areas**. Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.
  - 3. Landscape Materials. All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape" landscaping is encouraged. Landscaping improvements may also include berming, contouring, rocks, and boulders.
  - 4. **Plant Size, Spacing, and Scale**. The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and spacing of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.
  - 5. **Streetscape Landscape Treatments**. All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other

- treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.
- 6. <u>Landscape Accessories: All developments shall include at least one of the following accessories: art features, benches, pots, lamps, artwork, and sculptures, or other accessory as approved by the Planning Commission.</u>
- 7. All site plans shall follow the Landscaping Design Standards and Requirements in Section 15.40.080.